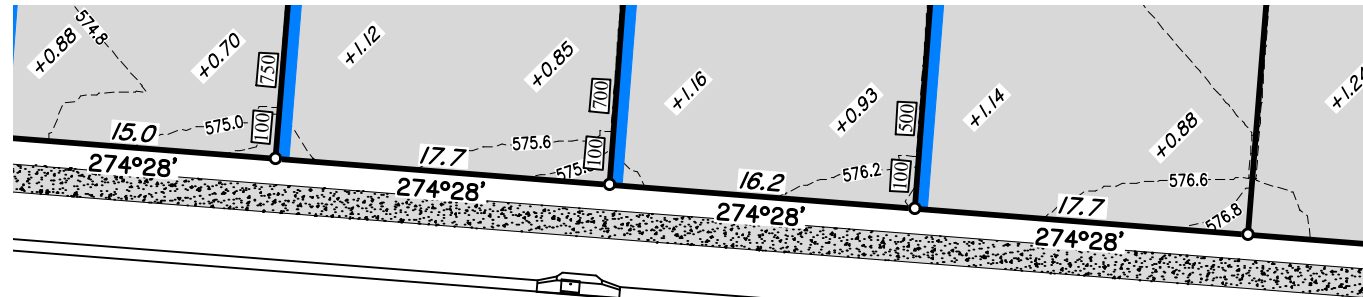
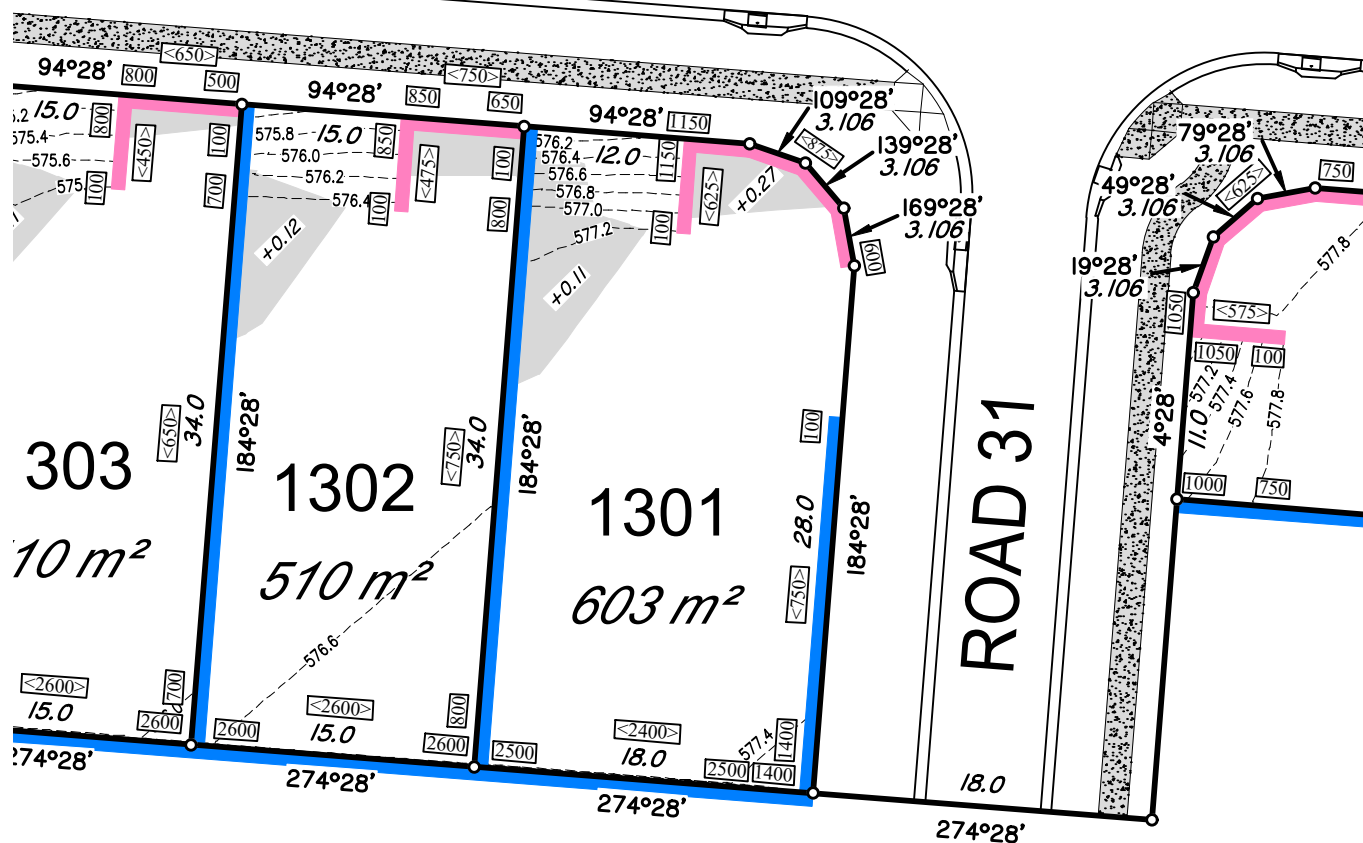


PROPOSED LOT 1301

BOTANIC
HIGHFIELDS



ROAD 04



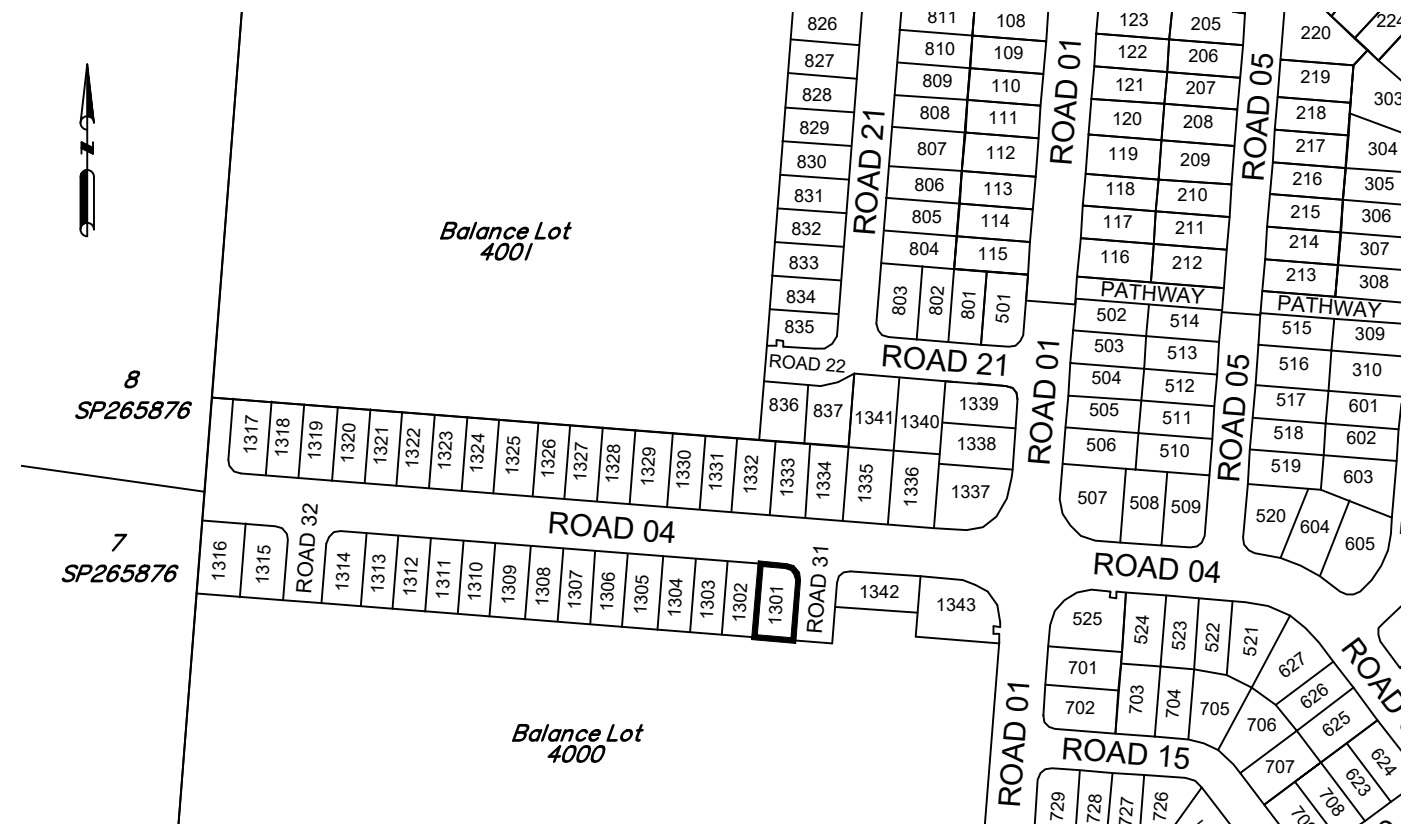
Balance Lot
4000

SCALE 1: 400 (A3)



15146-DP- 1301

LOCALITY PLAN



SCALE 1: 3500 (A3)



**DISCLOSURE PLAN
FOR PROPOSED LOT 1301**

This plan shows details of proposed Lot 1301 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 & located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

This disclosure plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed allotments and should not be used for any other purpose. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Areas and dimensions shown on this plan are subject to approval by Council and registration with the Department of Resources. Design surface levels, fill areas and retaining walls that may be shown hereon have been plotted from data supplied by GenEng Solutions Pty Ltd.

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LEGEND-NOTATIONS

- Indicates areas of fill and fill depths (metres)
 - Conc. Sleeper Ret'g Wall
 - Feature Sandstone Ret'g Wall
 - Conc. Block Ret'g Wall
 - Ret'g Wall Heights (mm)
 - Average Wall Heights (mm)
 - Concrete Path/Driveway
 - Gully Inlet Pit
 - Lot Boundary
 - New EMT Bdy
 - Design Contours
- Contour Interval is 0.2 metre

DATUM A.H.D.D.

LEVEL ORIGIN TOPNET AllDayRTK

SCALES AS SHOWN

DRAWN SCM DATE 30/04/2026

CHECKED SCM DATE 30/04/2026

PLAN NUMBER 15146-DP- 1301

Project: *Botanic Highfields*

PARKINSON SURVEYS PTY.LTD.
CONSULTING SURVEYORS

185 Herries St, Toowoomba, 4350
A.C.N. 604 671 123
(07) 46323244, mail@parkinsonsurveys.com.au

Client: Bird in Hand 3 Pty Ltd

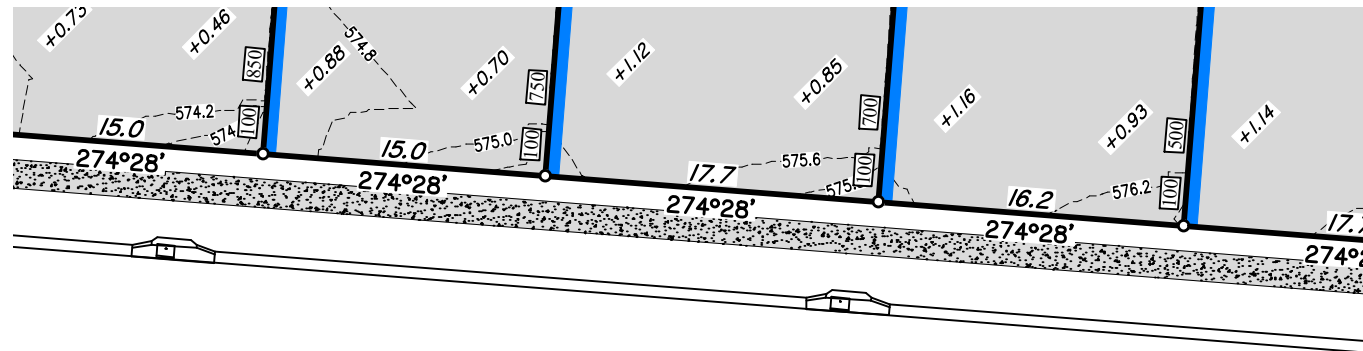
LOCALITY WOOLMER

Local Authority TOOWOOMBA R.C.

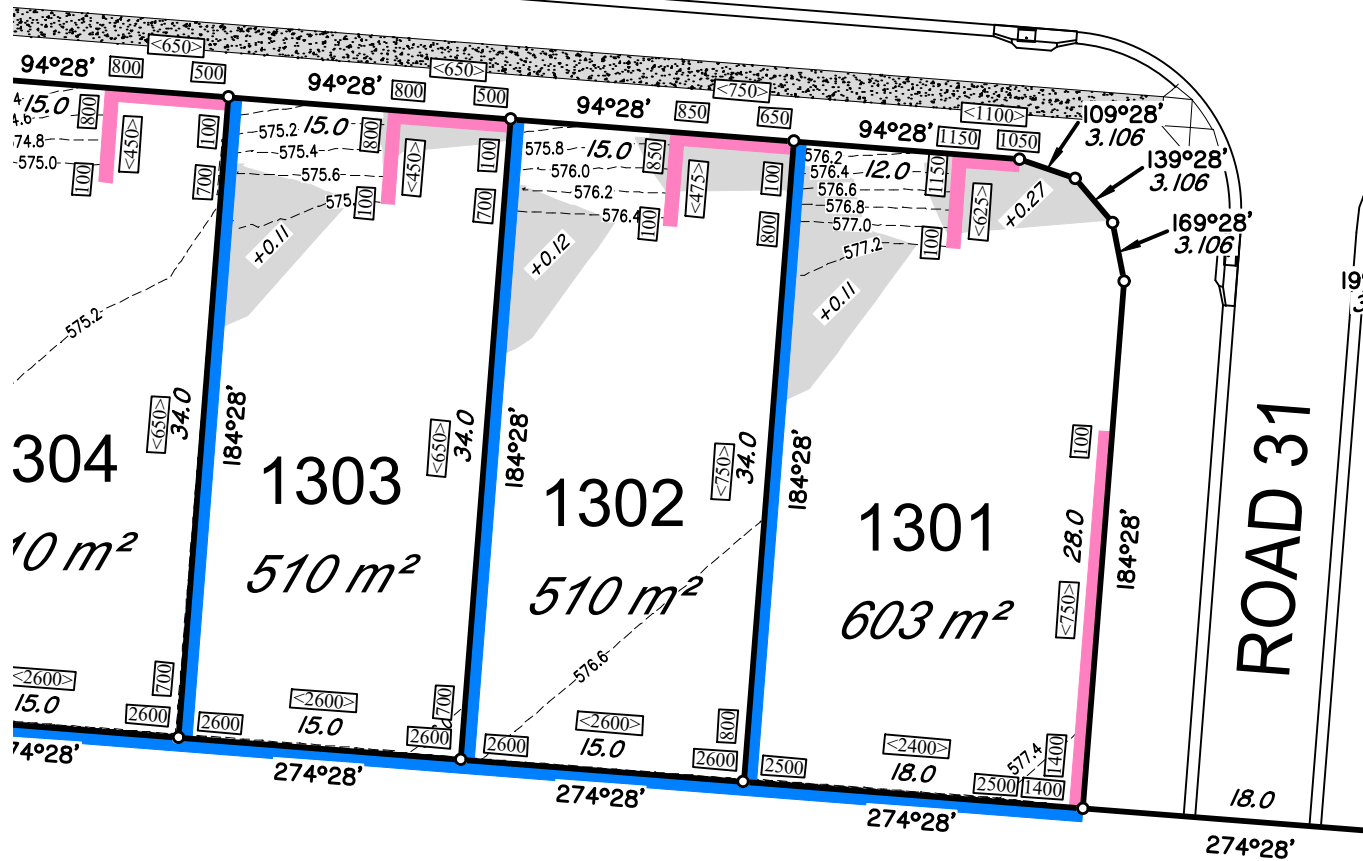
Stephen M. King 30/04/2026
.....
Cadastral Surveyor Date

PROPOSED LOT 1302

BOTANIC HIGHFIELDS



ROAD 04



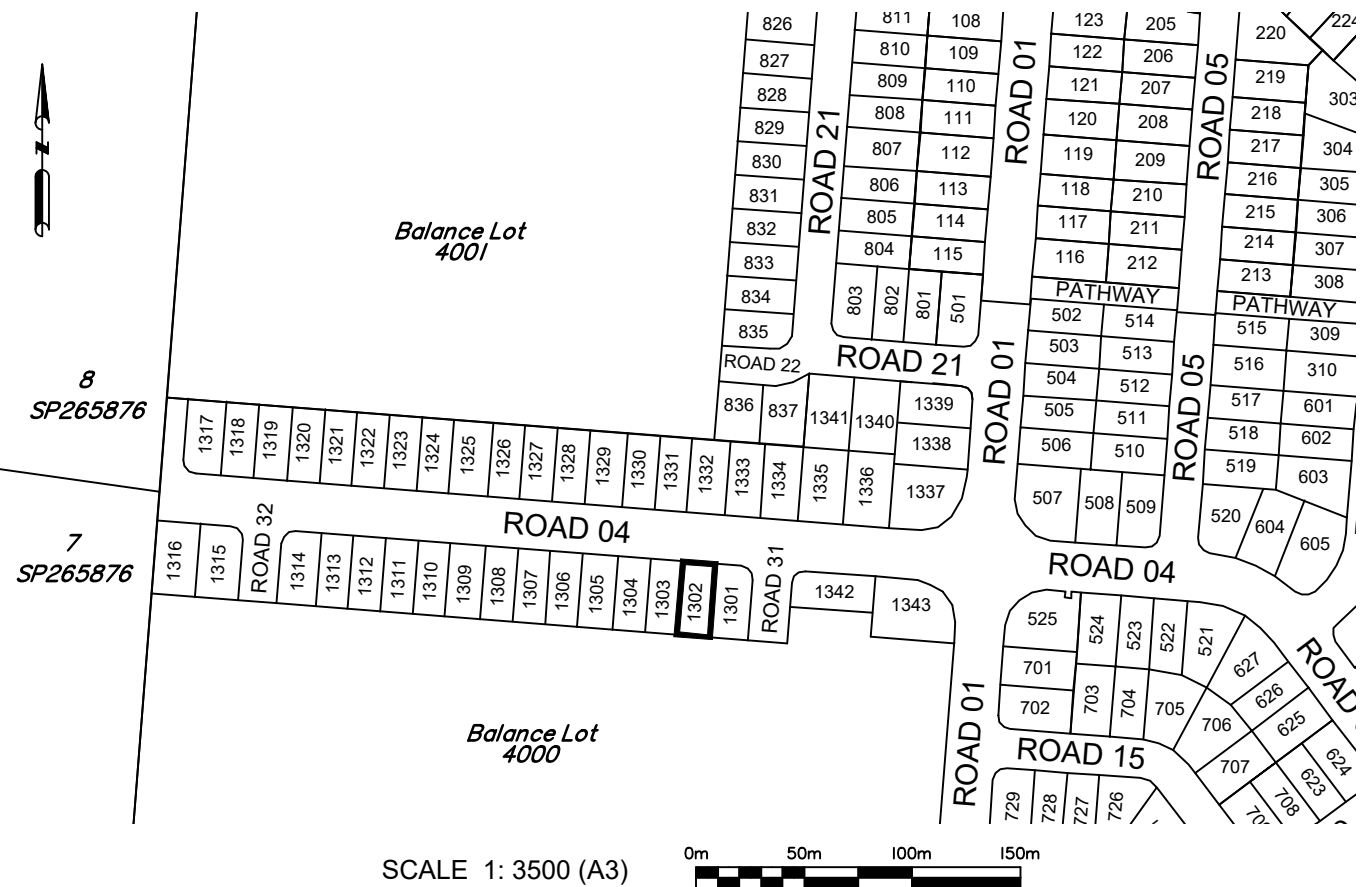
Balance Lot 4000

SCALE 1: 400 (A3)



15146-DP- 1302

LOCALITY PLAN



SCALE 1: 3500 (A3)

DISCLOSURE PLAN FOR PROPOSED LOT 1302

This plan shows details of proposed Lot 1302 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 (now Lot 1000 on SP346978), located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

This disclosure plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed allotments and should not be used for any other purpose. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Areas and dimensions shown on this plan are subject to approval by Council and registration with the Department of Resources. Design surface levels, fill areas and retaining walls that may be shown hereon have been plotted from data supplied by GenEng Solutions Pty Ltd.

Items that may be shown in addition to the standard Disclosure Plan requirements, such as Easements, have been taken from various sources and is a representation of the proposed infrastructure. The actual location should be checked on site after completion of construction. The dimensions and location of secondary interests may vary and are subject to final Council approval.

LEGEND-NOTATIONS

- +0.41 Indicates areas of fill and fill depths (metres)
- Conc. Sleeper Ret'g Wall
- Feature Sandstone Ret'g Wall
- Ret'g Wall Heights (mm)
- Average Wall Heights (mm)
- Concrete Path/Driveway
- Gully Inlet Pit
- Lot Boundary
- New EMT Bdy
- Design Contours
Contour Interval is 0.2 metre

Project: *Botanic Highfields*

Client: Bird in Hand 3 Pty Ltd

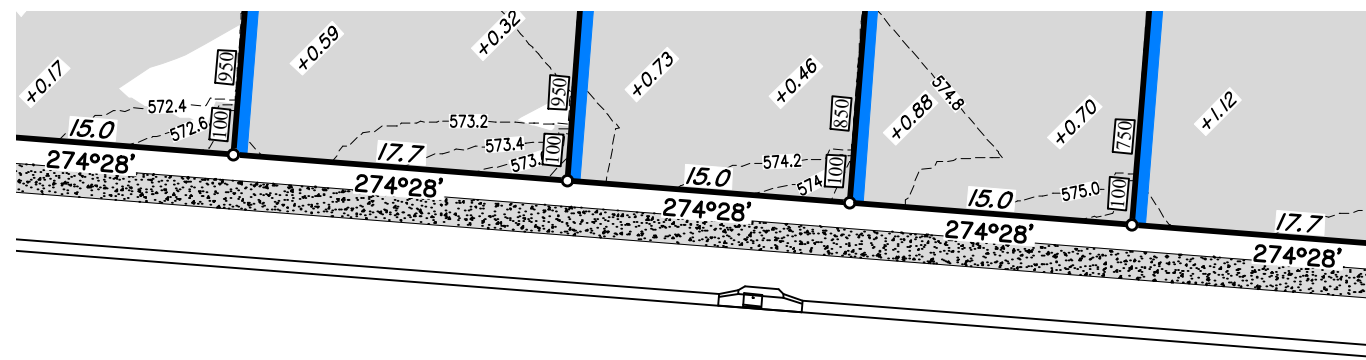
LOCALITY: WOOLMER
Local Authority: TOOWOOMBA R.C.

PARKINSON SURVEYS PTY.LTD.
CONSULTING SURVEYORS
185 Herries St, Toowoomba, 4350
A.C.N. 604 671 123
(07) 46323244, mail@parkinsonsurveys.com.au

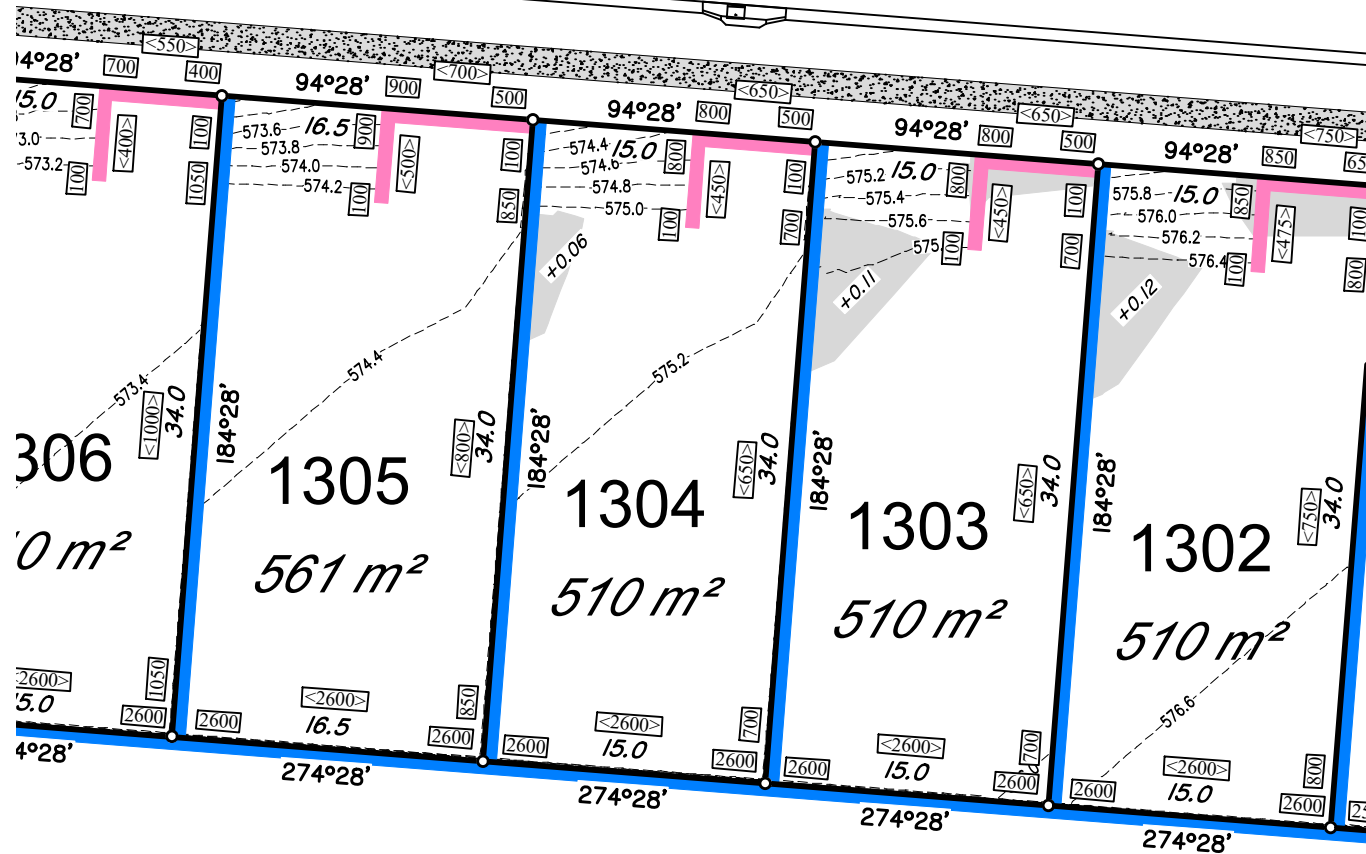
Stephen M. Hanz
Cadastral Surveyor
23/03/2026
Date

DATUM	A.H.D.D.	
LEVEL ORIGIN	TOPNET AllDayRTK	
SCALES	AS SHOWN	
DRAWN	SCM	DATE 23/03/2026
CHECKED	SCM	DATE 23/03/2026
PLAN NUMBER	15146-DP- 1302	

PROPOSED LOT 1304



ROAD 04



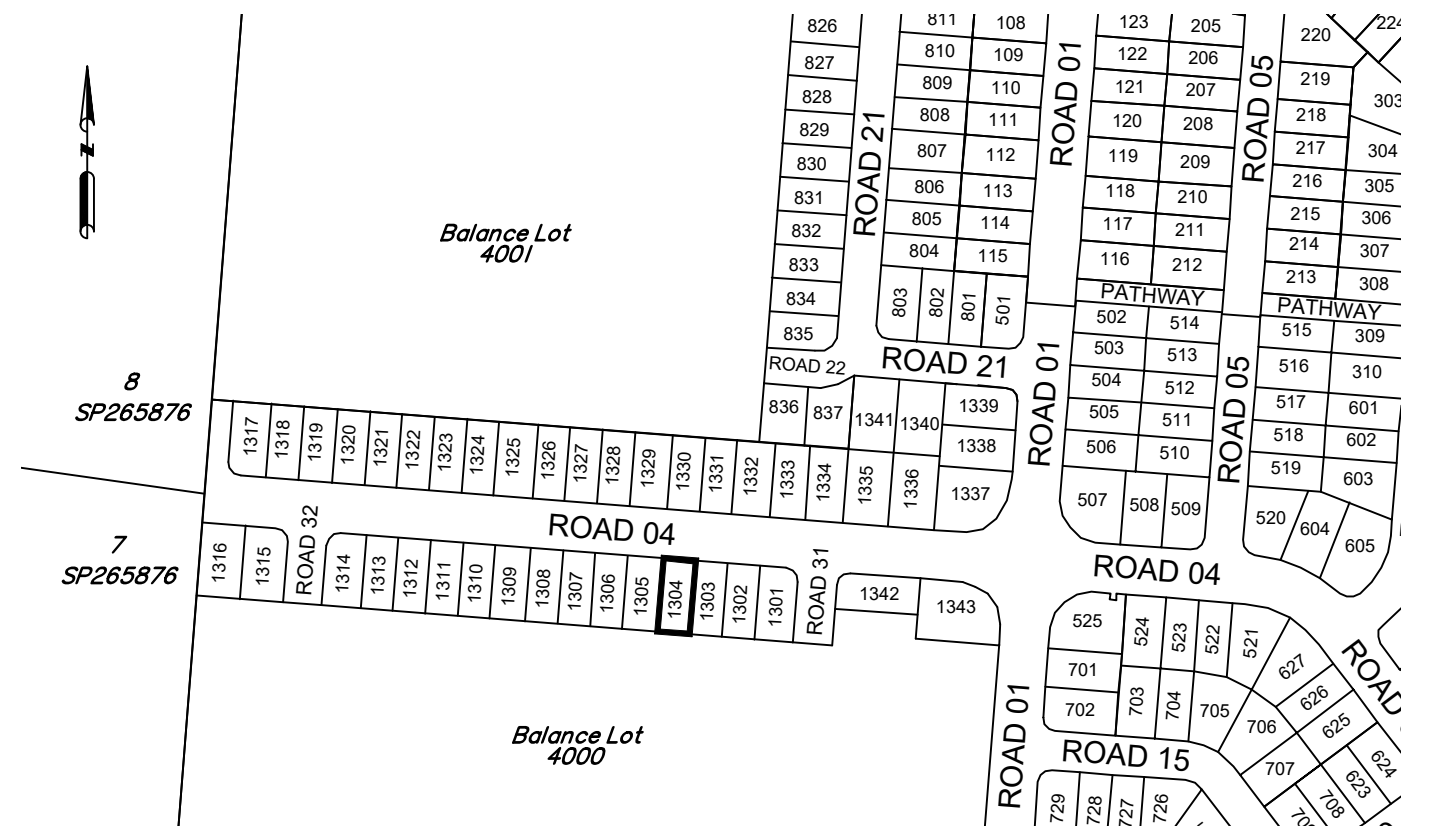
Balance Lot 4000

SCALE 1: 400 (A3)

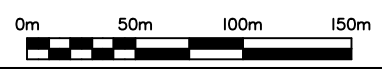


15146-DP- 1304

LOCALITY PLAN



SCALE 1: 3500 (A3)



DISCLOSURE PLAN FOR PROPOSED LOT 1304

This plan shows details of proposed Lot 1304 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 (now Lot 1000 on SP346978), located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

This disclosure plan was prepared in accordance with the Land Sales Act 1984 to enable the sale of proposed allotments and should not be used for any other purpose. This plan should not be used for design purposes as the details shown on this plan may vary from final site conditions.

Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Areas and dimensions shown on this plan are subject to approval by Council and registration with the Department of Resources. Design surface levels, fill areas and retaining walls that may be shown hereon have been plotted from data supplied by GenEng Solutions Pty Ltd.

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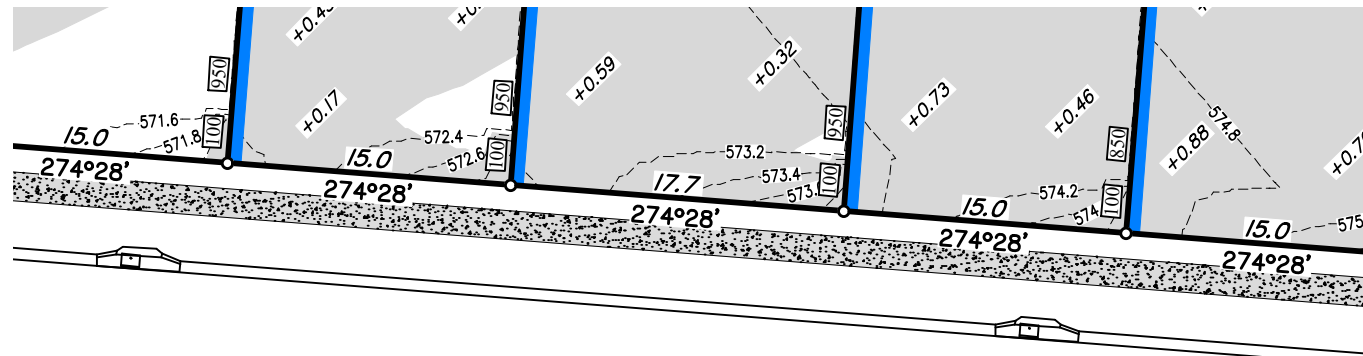
LEGEND-NOTATIONS

- Indicates areas of fill and fill depths (metres)
 - Conc. Sleeper Ret'g Wall
 - Feature Sandstone Ret'g Wall
 - Ret'g Wall Heights (mm)
 - Average Wall Heights (mm)
 - Concrete Path/Driveway
 - Gully Inlet Pit
 - Lot Boundary
 - New EMT Bdy
 - Design Contours
- Contour Interval is 0.2 metre

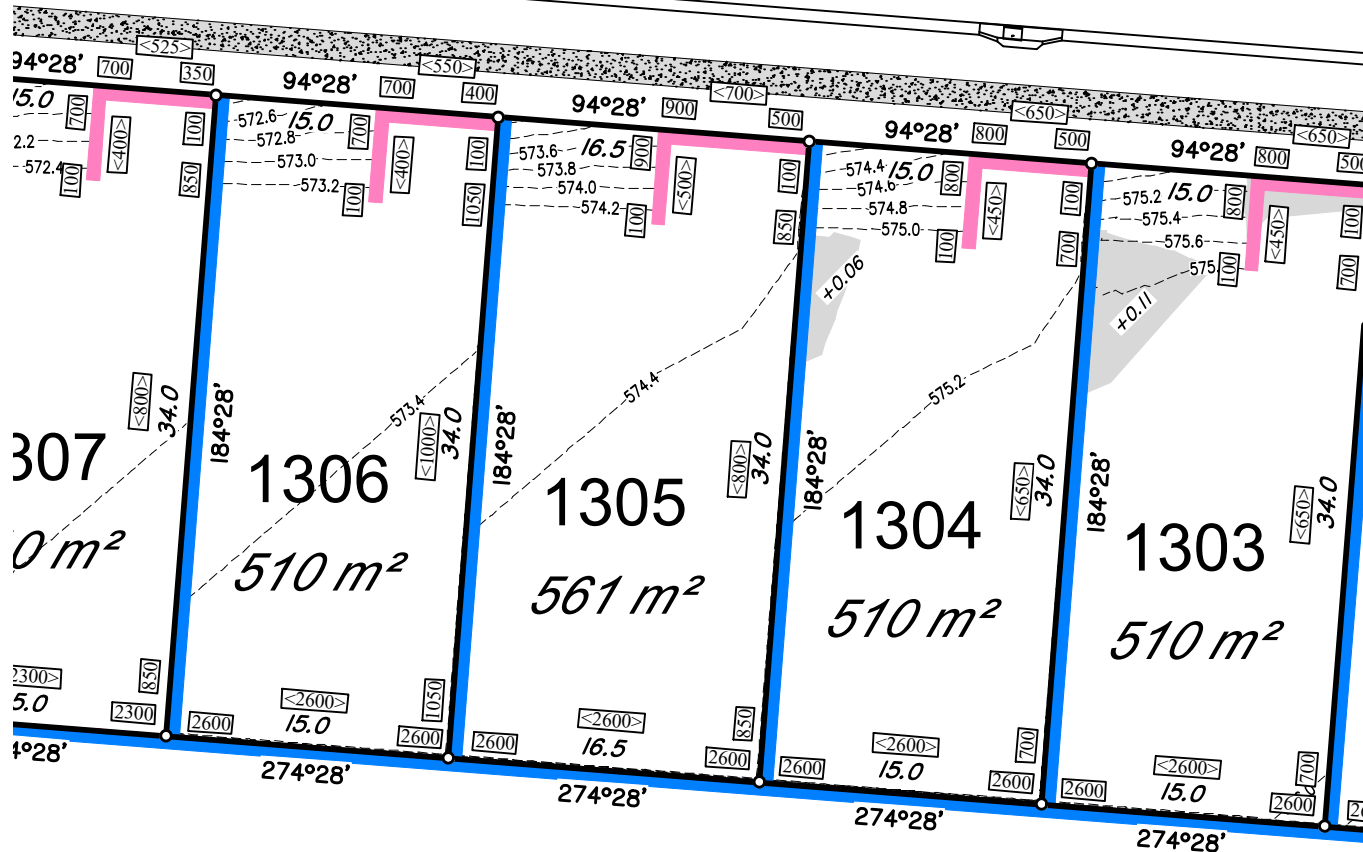
Project: Botanic Highfields		PARKINSON SURVEYS PTY.LTD. CONSULTING SURVEYORS 185 Herries St, Toowoomba, 4350 A.C.N. 604 671 123 (07) 46323244, mail@parkinsonsurveys.com.au	
Client: Bird in Hand 3 Pty Ltd		23/03/2026 Cadastral Surveyor Date	
LOCALITY	WOOLMER		
Local Authority	TOOWOOMBA R.C.		
DATUM	A.H.D.D.		
LEVEL ORIGIN	TOPNET AllDayRTK		
SCALES	AS SHOWN		
DRAWN	SCM	DATE	23/03/2026
CHECKED	SCM	DATE	23/03/2026
PLAN NUMBER	15146-DP- 1304		

PROPOSED LOT 1305

BOTANIC HIGHFIELDS



ROAD 04



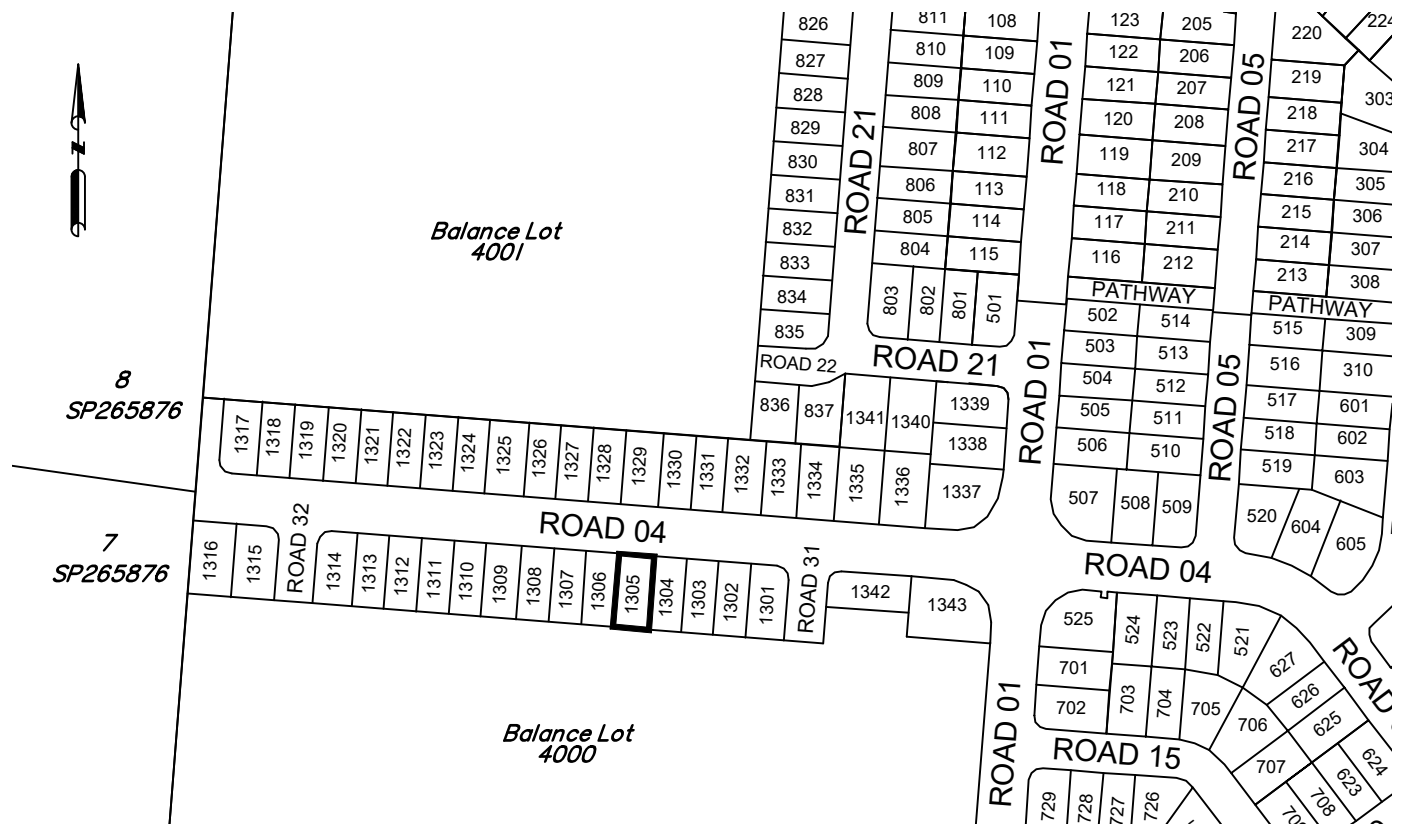
Balance Lot
4000

SCALE 1: 400 (A3)



15146-DP- 1305

LOCALITY PLAN



SCALE 1: 3500 (A3)



DISCLOSURE PLAN FOR PROPOSED LOT 1305

This plan shows details of proposed Lot 1305 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 (now Lot 1000 on SP346978), located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

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LEGEND-NOTATIONS

- +0.41 Indicates areas of fill and fill depths (metres)
- Conc. Sleeper Ret'g Wall
- Feature Sandstone Ret'g Wall
- Ret'g Wall Heights (mm)
- Average Wall Heights (mm)
- Concrete Path/Driveway
- Gully Inlet Pit
- Lot Boundary
- New EMT Bdy
- Design Contours
Contour Interval is 0.2 metre

Project: *Botanic Highfields*

PARKINSON SURVEYS PTY.LTD.
CONSULTING SURVEYORS

Client:
Bird in Hand 3 Pty Ltd

185 Herries St, Toowoomba, 4350
A.C.N. 604 671 123
(07) 46323244, mail@parkinsonsurveys.com.au

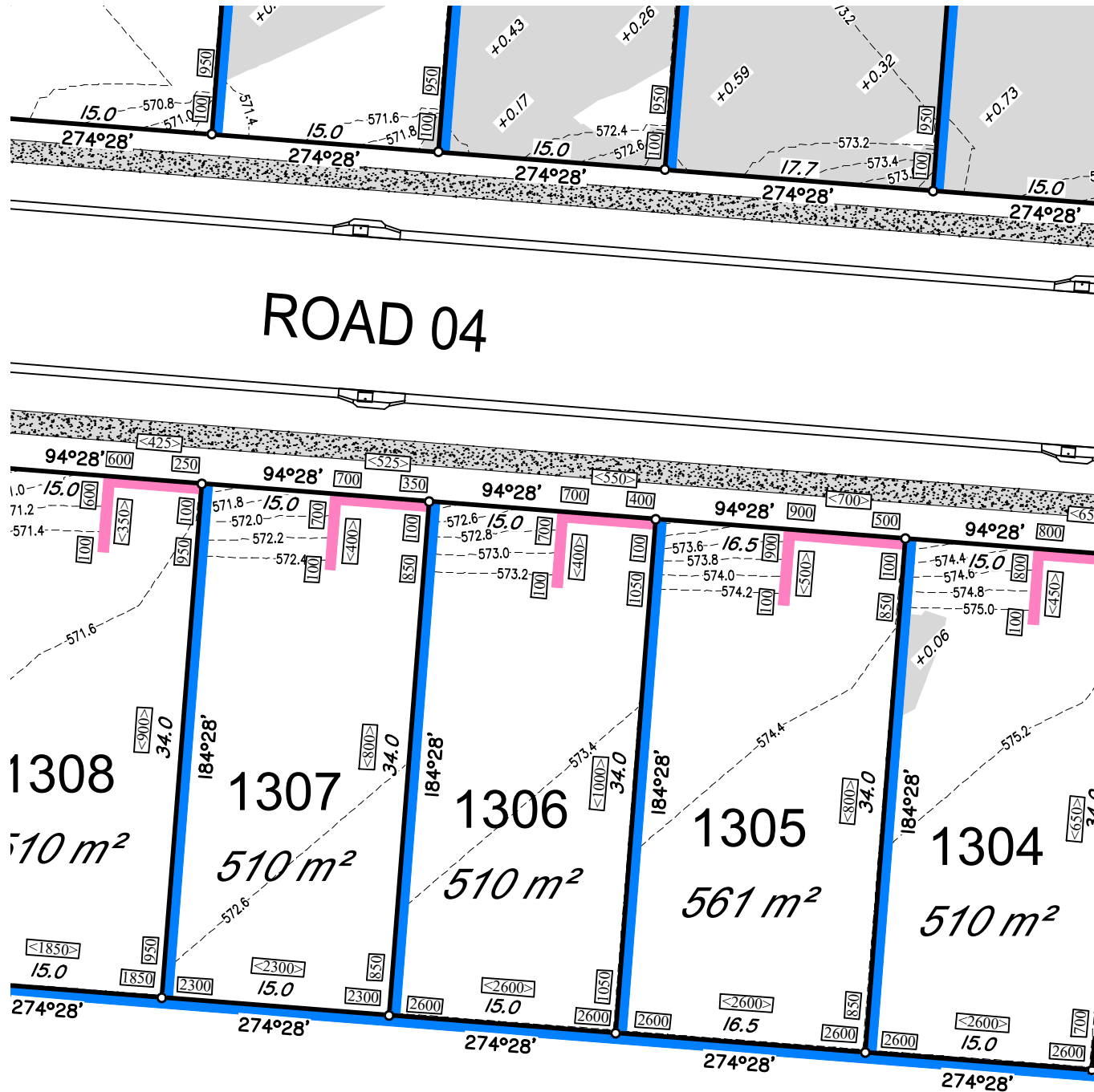
LOCALITY: WOOLMER
Local Authority: TOOWOOMBA R.C.

Stephen M. Hanz 23/03/2026
.....
Cadastral Surveyor Date

DATUM	A.H.D.D.	
LEVEL ORIGIN	TOPNET AllDayRTK	
SCALES	AS SHOWN	
DRAWN	SCM	DATE 23/03/2026
CHECKED	SCM	DATE 23/03/2026
PLAN NUMBER	15146-DP- 1305	

PROPOSED LOT 1306

BOTANIC HIGHFIELDS



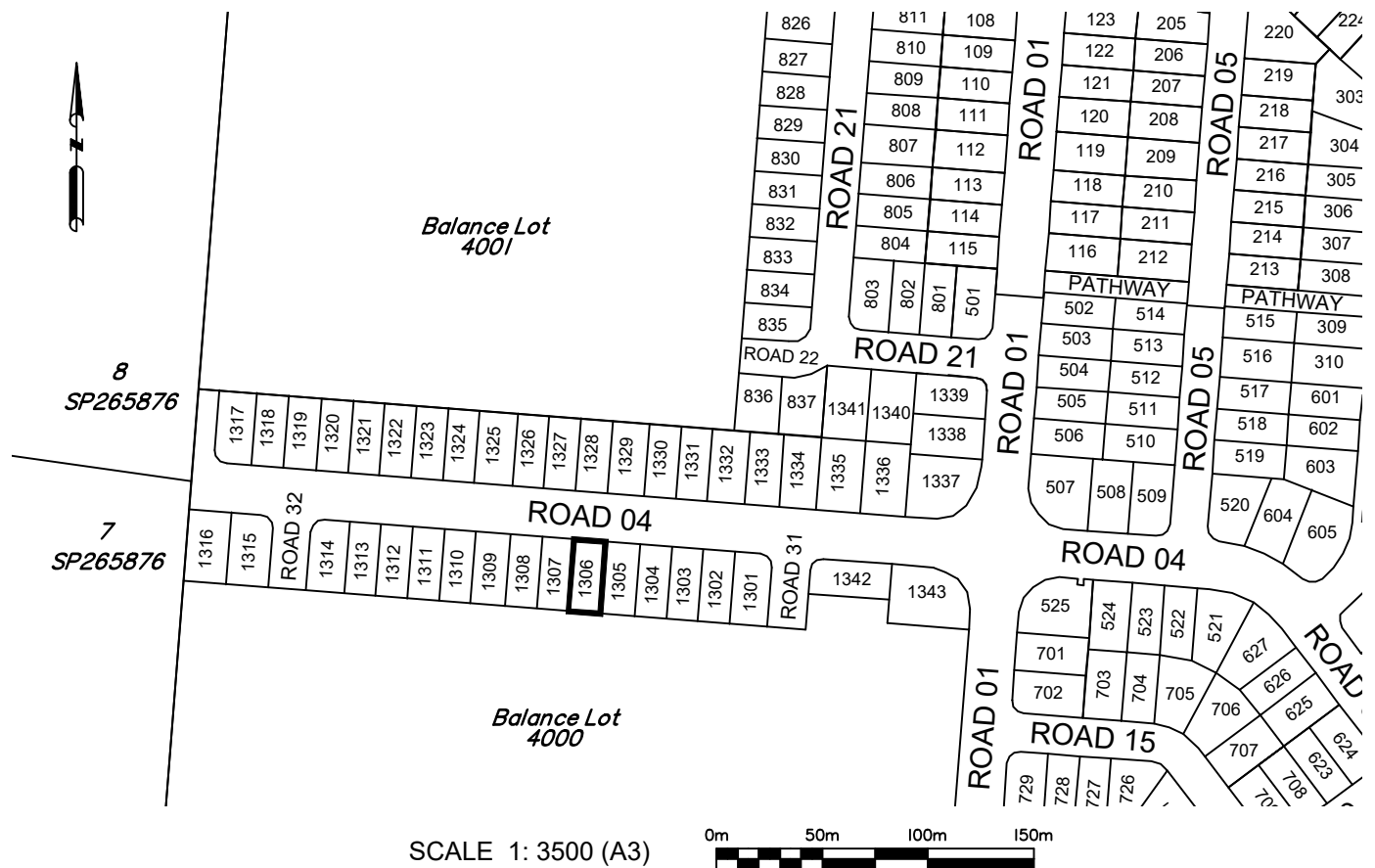
Balance Lot
4000

SCALE 1: 400 (A3)



15146-DP- 1306

LOCALITY PLAN



SCALE 1: 3500 (A3)

DISCLOSURE PLAN FOR PROPOSED LOT 1306

This plan shows details of proposed Lot 1306 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 (now Lot 1000 on SP346978), located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

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LEGEND-NOTATIONS

- +0.41 Indicates areas of fill and fill depths (metres)
- Conc. Sleeper Ret'g Wall
- Feature Sandstone Ret'g Wall
- Ret'g Wall Heights (mm)
- Average Wall Heights (mm)
- Concrete Path/Driveway
- Gully Inlet Pit
- Lot Boundary
- New EMT Bdy
- Design Contours
Contour Interval is 0.2 metre

Project: *Botanic Highfields*

Client: Bird in Hand 3 Pty Ltd

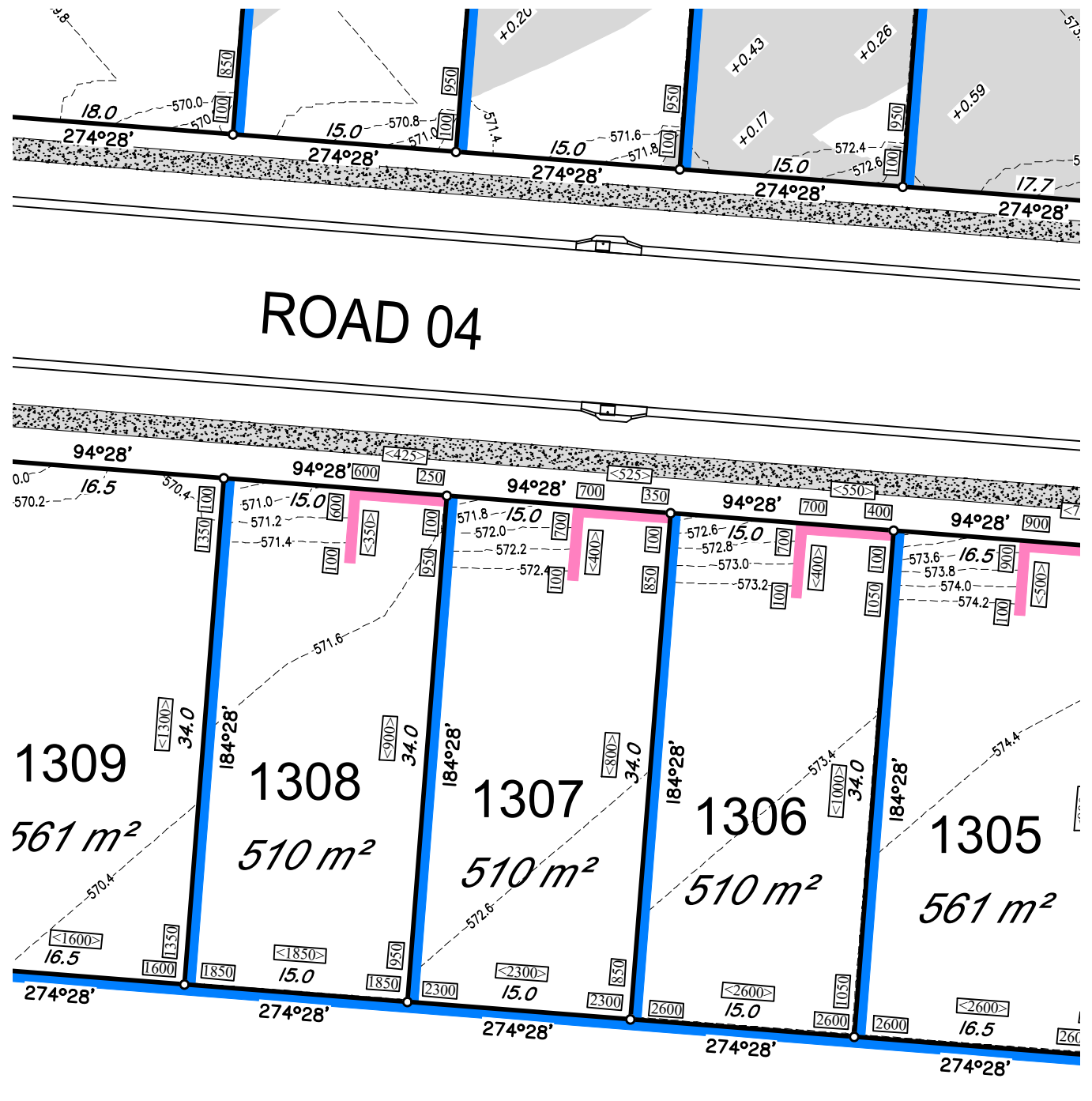
LOCALITY: WOOLMER
Local Authority: TOOWOOMBA R.C.

PARKINSON SURVEYS PTY.LTD.
CONSULTING SURVEYORS
185 Herries St, Toowoomba, 4350
A.C.N. 604 671 123
(07) 46323244, mail@parkinsonsurveys.com.au

Stephen M. Hanz 23/03/2026
Cadastral Surveyor Date

DATUM	A.H.D.D.	
LEVEL ORIGIN	TOPNET AllDayRTK	
SCALES	AS SHOWN	
DRAWN	SCM	DATE 23/03/2026
CHECKED	SCM	DATE 23/03/2026
PLAN NUMBER	15146-DP- 1306	

PROPOSED LOT 1307

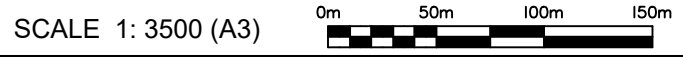
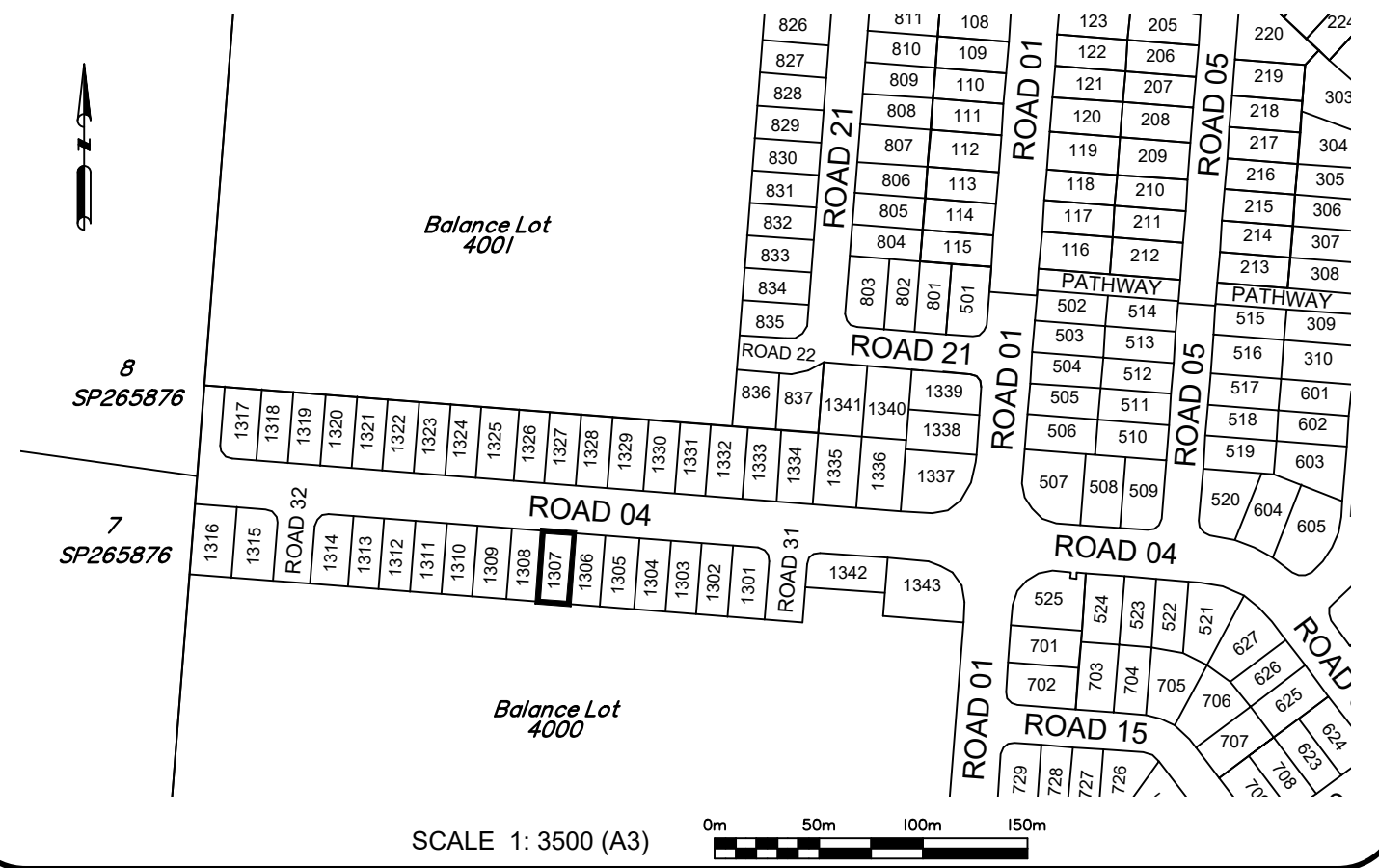


Balance Lot 4000



15146-DP- 1307

LOCALITY PLAN



DISCLOSURE PLAN FOR PROPOSED LOT 1307

This plan shows details of proposed Lot 1307 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 (now Lot 1000 on SP346978), located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

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LEGEND-NOTATIONS

- Indicates areas of fill and fill depths (metres)
 - Conc. Sleeper Ret'g Wall
 - Feature Sandstone Ret'g Wall
 - Ret'g Wall Heights (mm)
 - Average Wall Heights (mm)
 - Concrete Path/Driveway
 - Gully Inlet Pit
 - Lot Boundary
 - New EMT Bdy
 - Design Contours
- Contour Interval is 0.2 metre

Project:	Botanic Highfields
Client:	Bird in Hand 3 Pty Ltd
LOCALITY	WOOLMER
Local Authority	TOOWOOMBA R.C.

PARKINSON SURVEYS PTY.LTD.
 CONSULTING SURVEYORS
 185 Herries St, Toowoomba, 4350
 A.C.N. 604 671 123
 (07) 46323244, mail@parkinsonsurveys.com.au

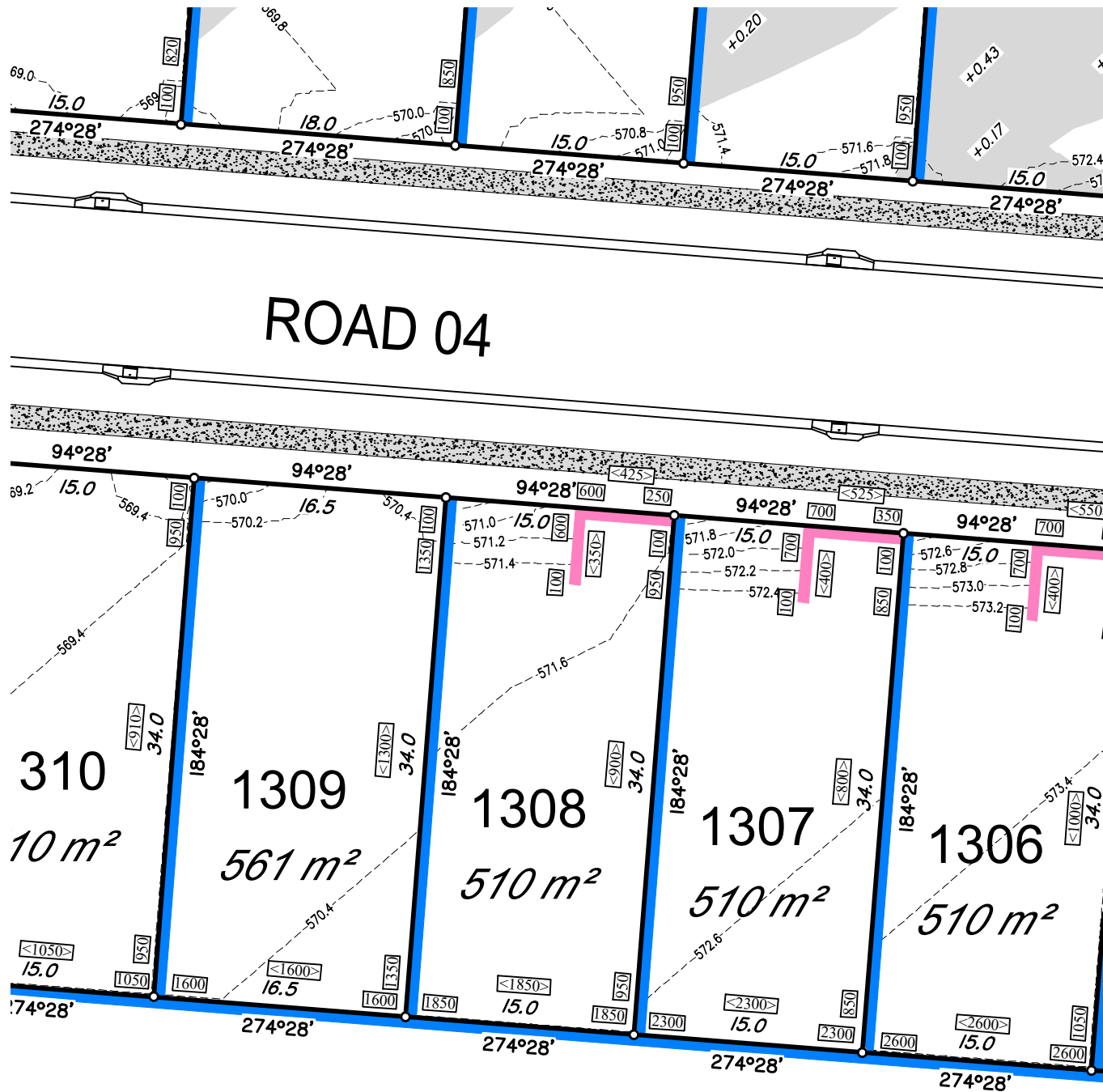
Stephen M. Hanz 23/03/2026

 Cadastral Surveyor Date

DATUM	A.H.D.D.	
LEVEL ORIGIN	TOPNET AllDayRTK	
SCALES	AS SHOWN	
DRAWN	SCM	DATE 23/03/2026
CHECKED	SCM	DATE 23/03/2026
PLAN NUMBER	15146-DP- 1307	

PROPOSED LOT 1308

BOTANIC HIGHFIELDS



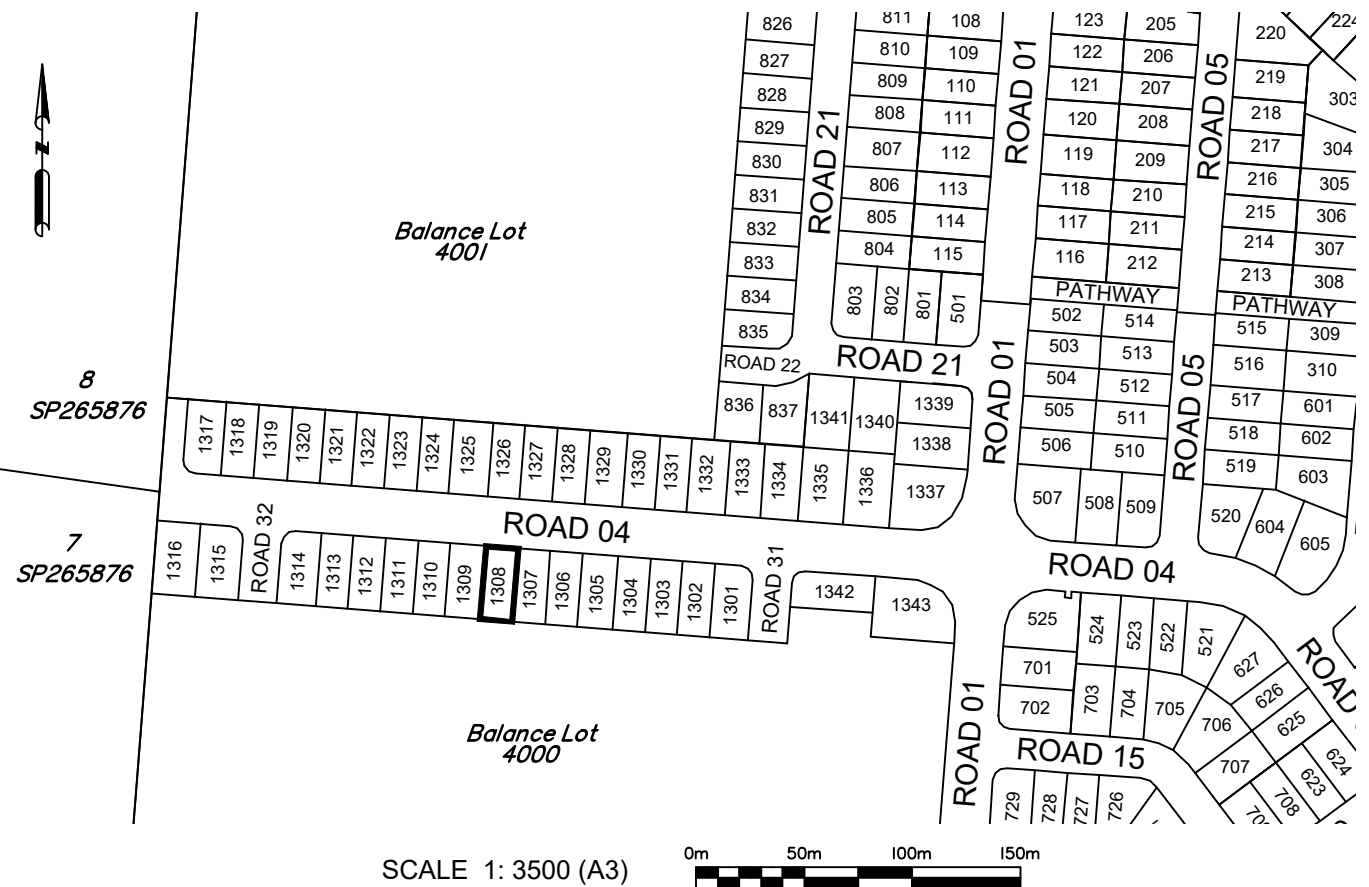
Balance Lot
4000

SCALE 1: 400 (A3)



15146-DP- 1308

LOCALITY PLAN



SCALE 1: 3500 (A3)

DISCLOSURE PLAN FOR PROPOSED LOT 1308

This plan shows details of proposed Lot 1308 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 (now Lot 1000 on SP346978), located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

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LEGEND-NOTATIONS

- +0.41 Indicates areas of fill and fill depths (metres)
- Conc. Sleeper Ret'g Wall
- Feature Sandstone Ret'g Wall
- Ret'g Wall Heights (mm)
- Average Wall Heights (mm)
- Concrete Path/Driveway
- Gully Inlet Pit
- Lot Boundary
- New EMT Bdy
- Design Contours
Contour Interval is 0.2 metre

Project: *Botanic Highfields*

Client: Bird in Hand 3 Pty Ltd

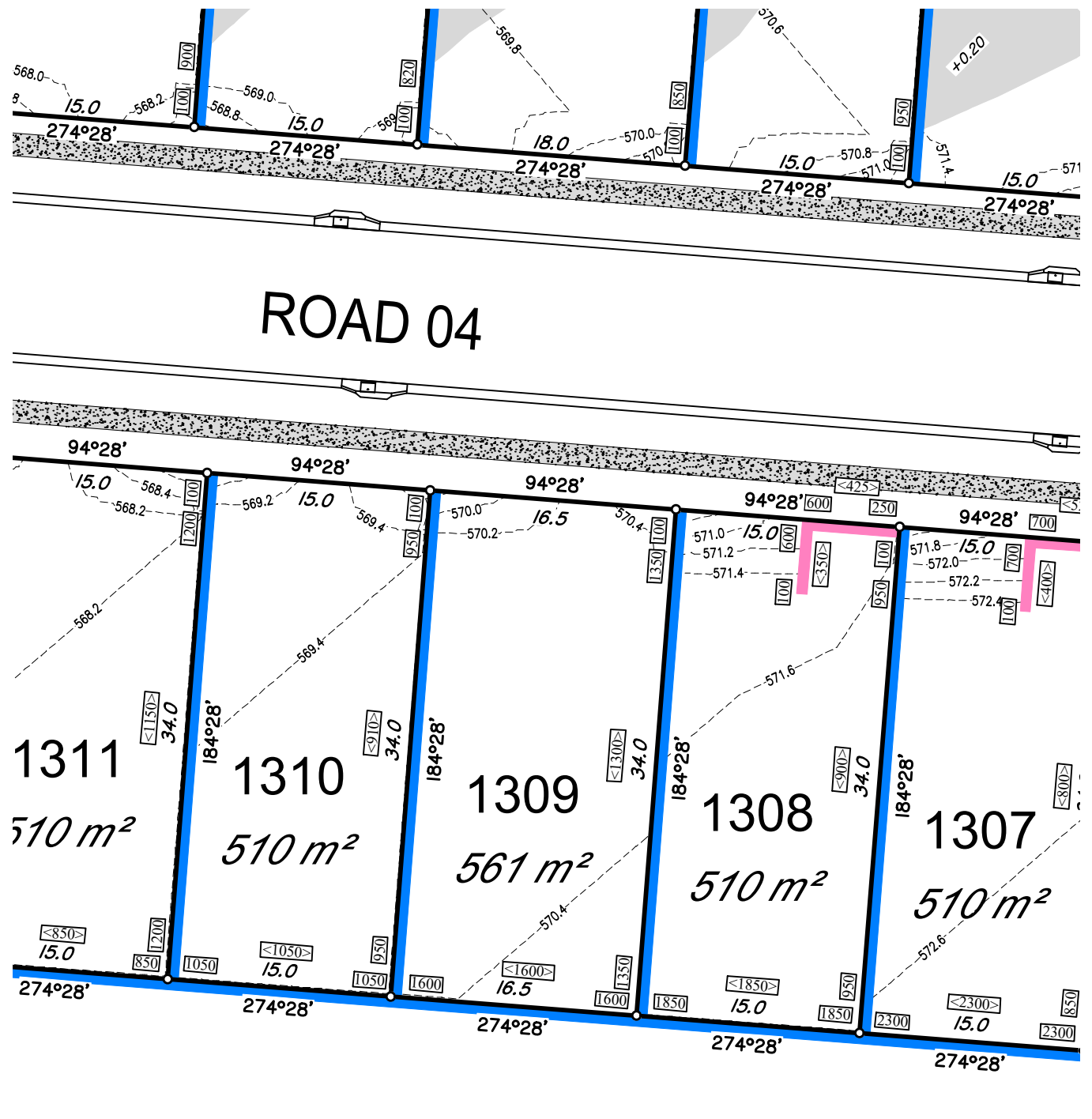
LOCALITY: WOOLMER
Local Authority: TOOWOOMBA R.C.

PARKINSON SURVEYS PTY.LTD.
CONSULTING SURVEYORS
185 Herries St, Toowoomba, 4350
A.C.N. 604 671 123
(07) 46323244, mail@parkinsonsurveys.com.au

Stephen M. Hanz 23/03/2026
Cadastral Surveyor Date

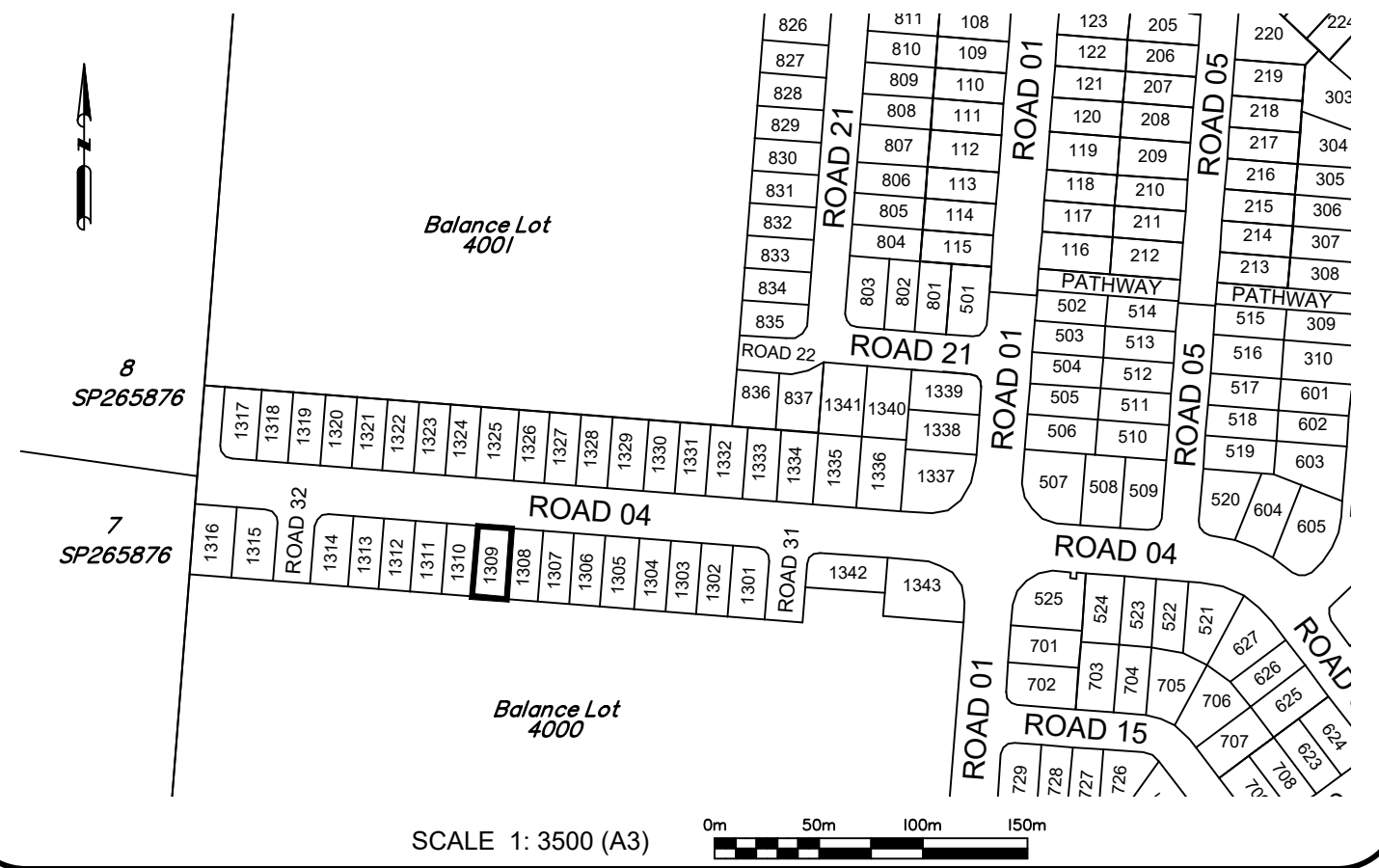
DATUM	A.H.D.D.	
LEVEL ORIGIN	TOPNET AllDayRTK	
SCALES	AS SHOWN	
DRAWN	SCM	DATE 23/03/2026
CHECKED	SCM	DATE 23/03/2026
PLAN NUMBER	15146-DP- 1308	

PROPOSED LOT 1309



15146-DP- 1309

LOCALITY PLAN



DISCLOSURE PLAN FOR PROPOSED LOT 1309

This plan shows details of proposed Lot 1309 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 (now Lot 1000 on SP346978), located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

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LEGEND-NOTATIONS

- +0.4/ Indicates areas of fill and fill depths (metres)
 - Conc. Sleeper Ret'g Wall
 - Feature Sandstone Ret'g Wall
 - Ret'g Wall Heights (mm)
 - Average Wall Heights (mm)
 - Concrete Path/Driveway
 - Gully Inlet Pit
 - Lot Boundary
 - New EMT Bdy
 - Design Contours
- Contour Interval is 0.2 metre

Project: **Botanic Highfields**

Client: **Bird in Hand 3 Pty Ltd**

LOCALITY: WOOLMER

Local Authority: TOOWOOMBA R.C.

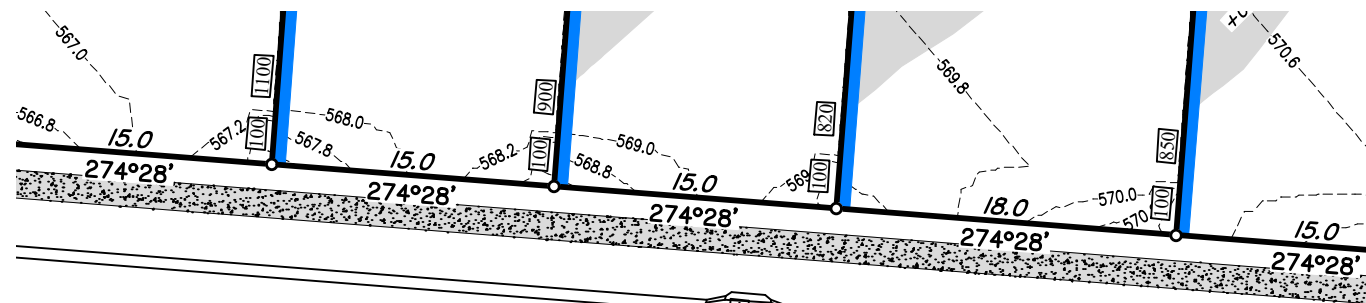
PARKINSON SURVEYS PTY.LTD.
 CONSULTING SURVEYORS
 185 Herries St, Toowoomba, 4350
 A.C.N. 604 671 123
 (07) 46323244, mail@parkinsonsurveys.com.au

Stephen M. Hanz 23/03/2026

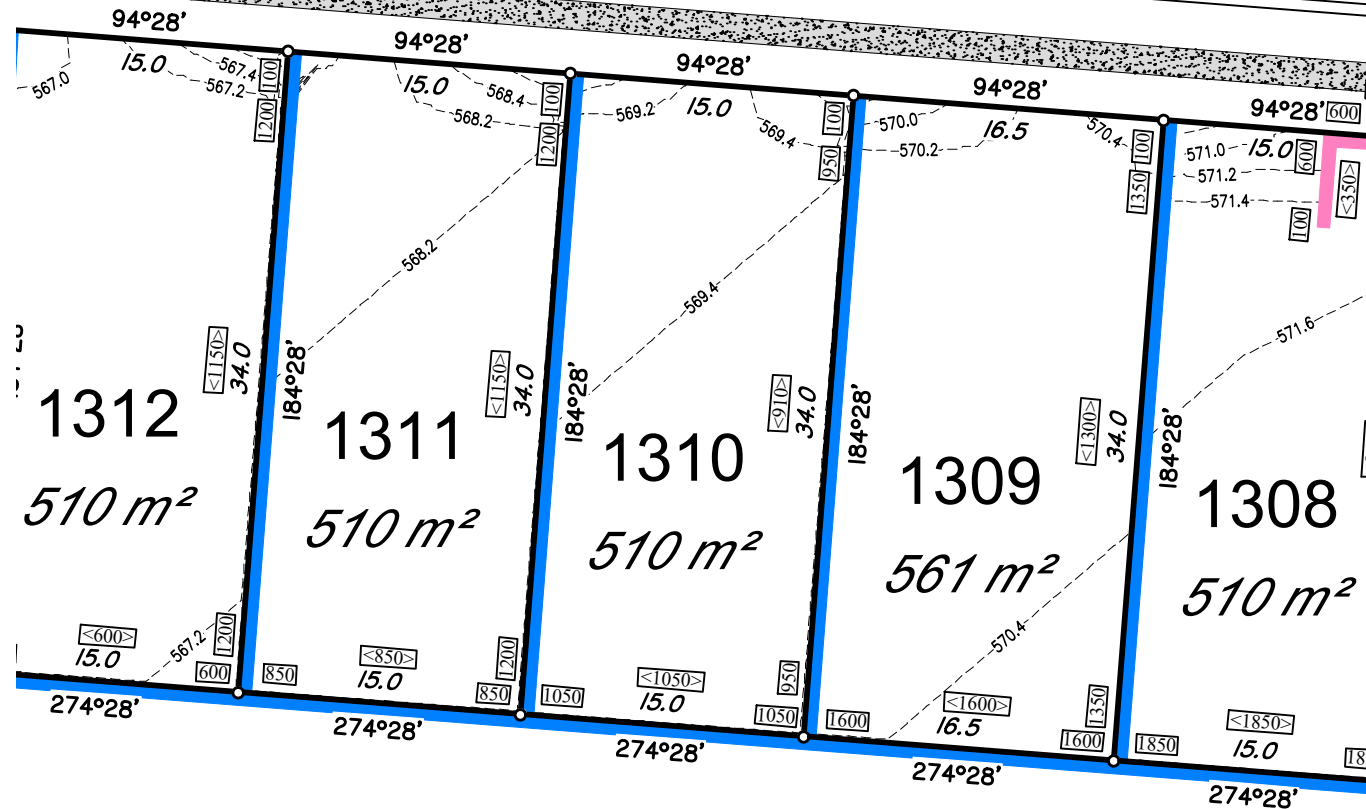
 Cadastral Surveyor Date

DATUM	A.H.D.D.	
LEVEL ORIGIN	TOPNET AllDayRTK	
SCALES	AS SHOWN	
DRAWN	SCM	DATE 23/03/2026
CHECKED	SCM	DATE 23/03/2026
PLAN NUMBER	15146-DP- 1309	

PROPOSED LOT 1310



ROAD 04

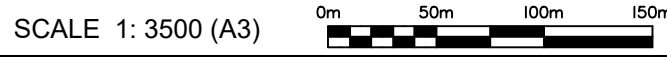
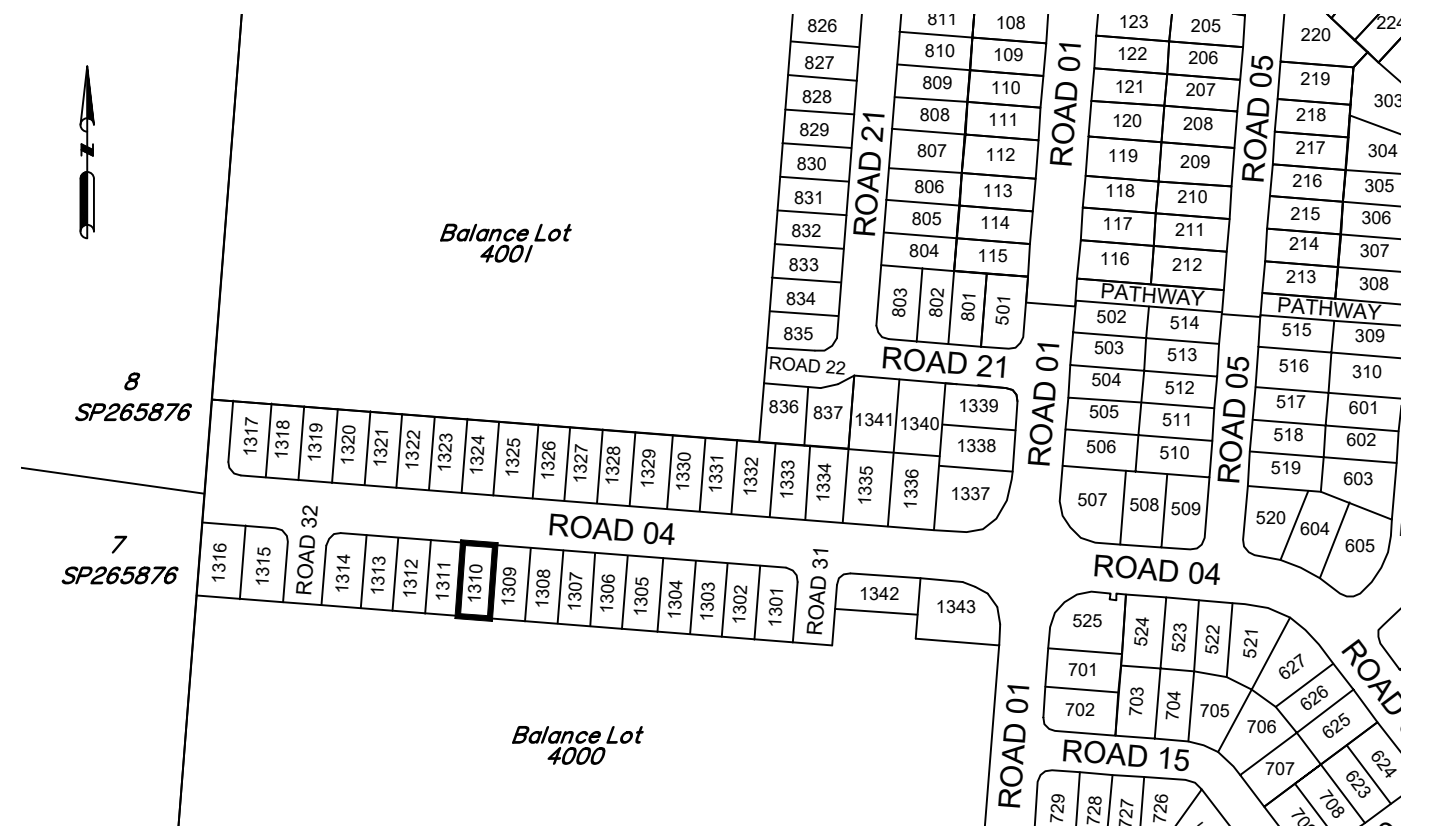


Balance Lot 4000



15146-DP- 1310

LOCALITY PLAN



DISCLOSURE PLAN FOR PROPOSED LOT 1310

This plan shows details of proposed Lot 1310 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 (now Lot 1000 on SP346978), located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

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LEGEND-NOTATIONS

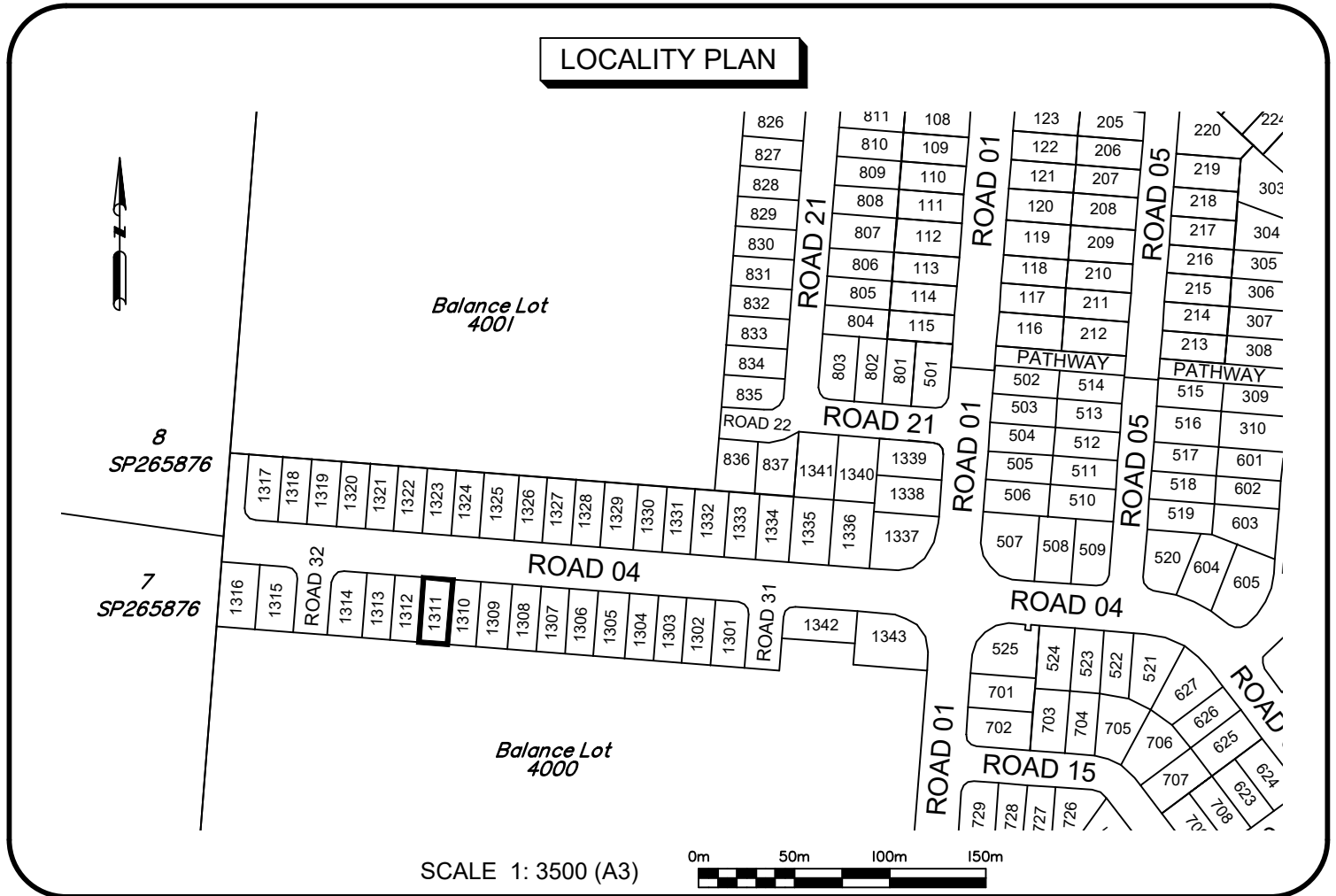
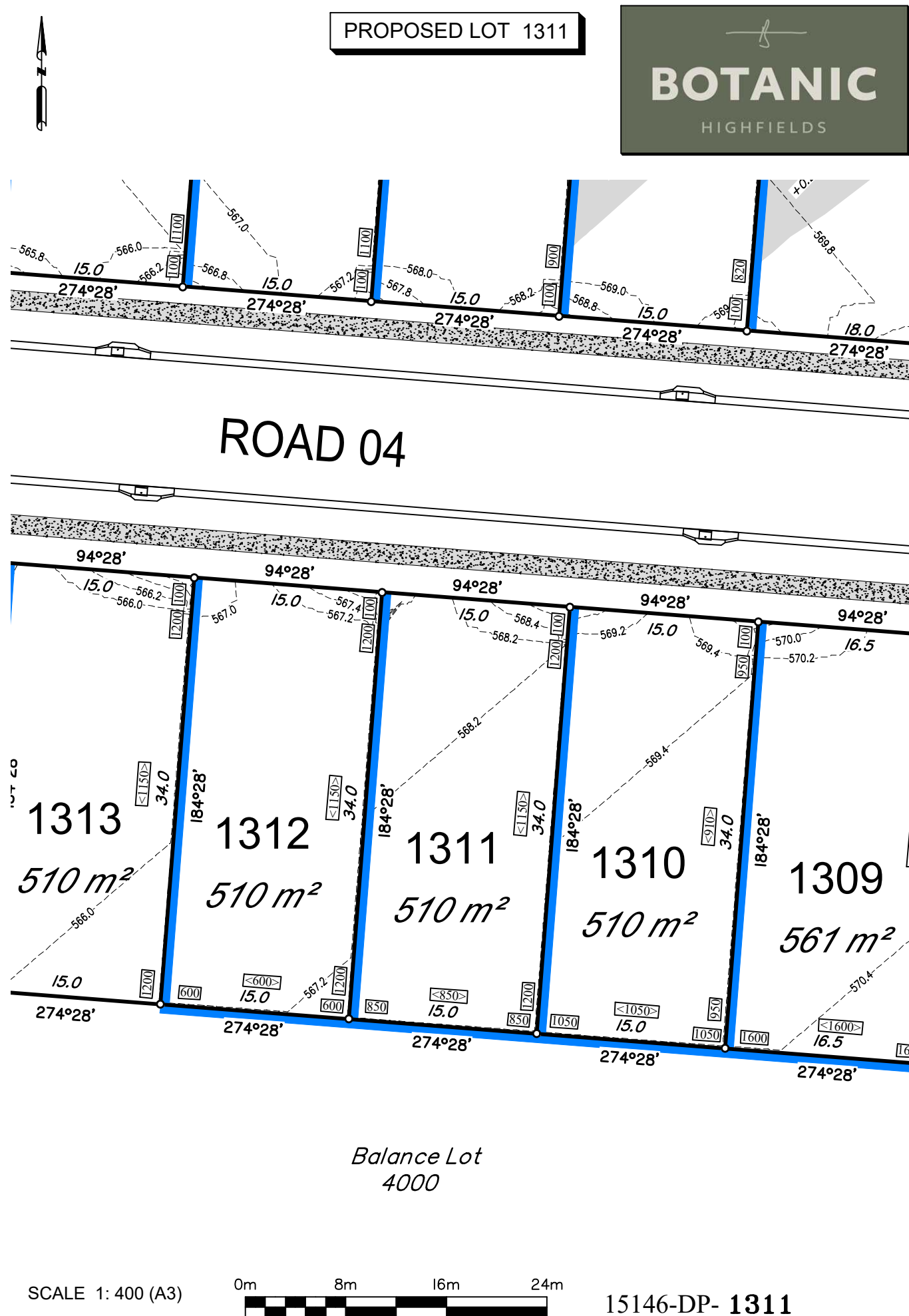
- Indicates areas of fill and fill depths (metres)
 - Conc. Sleeper Ret'g Wall
 - Feature Sandstone Ret'g Wall
 - Ret'g Wall Heights (mm)
 - Average Wall Heights (mm)
 - Concrete Path/Driveway
 - Gully Inlet Pit
 - Lot Boundary
 - New EMT Bdy
 - Design Contours
- Contour Interval is 0.2 metre

Project: *Botanic Highfields*
 Client: Bird in Hand 3 Pty Ltd
 LOCALITY: WOOLMER
 Local Authority: TOOWOOMBA R.C.

PARKINSON SURVEYS PTY.LTD.
 CONSULTING SURVEYORS
 185 Herries St, Toowoomba, 4350
 A.C.N. 604 671 123
 (07) 46323244, mail@parkinsonsurveys.com.au
Stephen M. Hanz 23/03/2026

 Cadastral Surveyor Date

DATUM	A.H.D.D.	
LEVEL ORIGIN	TOPNET AllDayRTK	
SCALES	AS SHOWN	
DRAWN	SCM	DATE 23/03/2026
CHECKED	SCM	DATE 23/03/2026
PLAN NUMBER	15146-DP- 1310	



DISCLOSURE PLAN FOR PROPOSED LOT 1311

This plan shows details of proposed Lot 1311 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 (now Lot 1000 on SP346978), located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

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LEGEND-NOTATIONS

- Indicates areas of fill and fill depths (metres)
- Conc. Sleeper Ret'g Wall
- Feature Sandstone Ret'g Wall
- Ret'g Wall Heights (mm)
- Average Wall Heights (mm)
- Concrete Path/Driveway
- Gully Inlet Pit
- Lot Boundary
- New EMT Bdy
- Design Contours

Contour Interval is 0.2 metre

DATUM	A.H.D.D.		
LEVEL ORIGIN	TOPNET AllDayRTK		
SCALES	AS SHOWN		
DRAWN	SCM	DATE	23/03/2026
CHECKED	SCM	DATE	23/03/2026
PLAN NUMBER	15146-DP- 1311		

Project: **Botanic Highfields** **PARKINSON SURVEYS PTY.LTD.**
 CONSULTING SURVEYORS
 185 Herries St, Toowoomba, 4350
 A.C.N. 604 671 123
 (07) 46323244, mail@parkinsonsurveys.com.au

Client: **Bird in Hand 3 Pty Ltd**

LOCALITY	WOOLMER
Local Authority	TOOWOOMBA R.C.

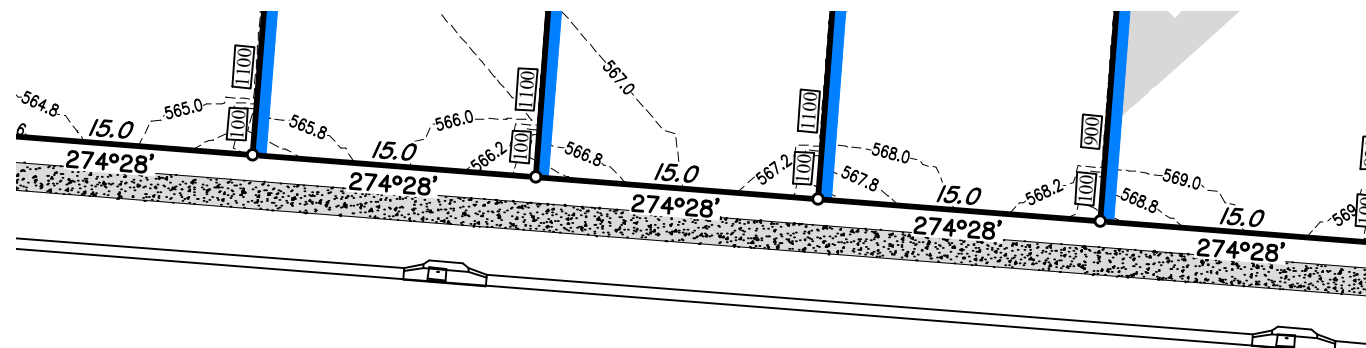
Stephen M. Hanzig 23/03/2026

 Cadastral Surveyor Date

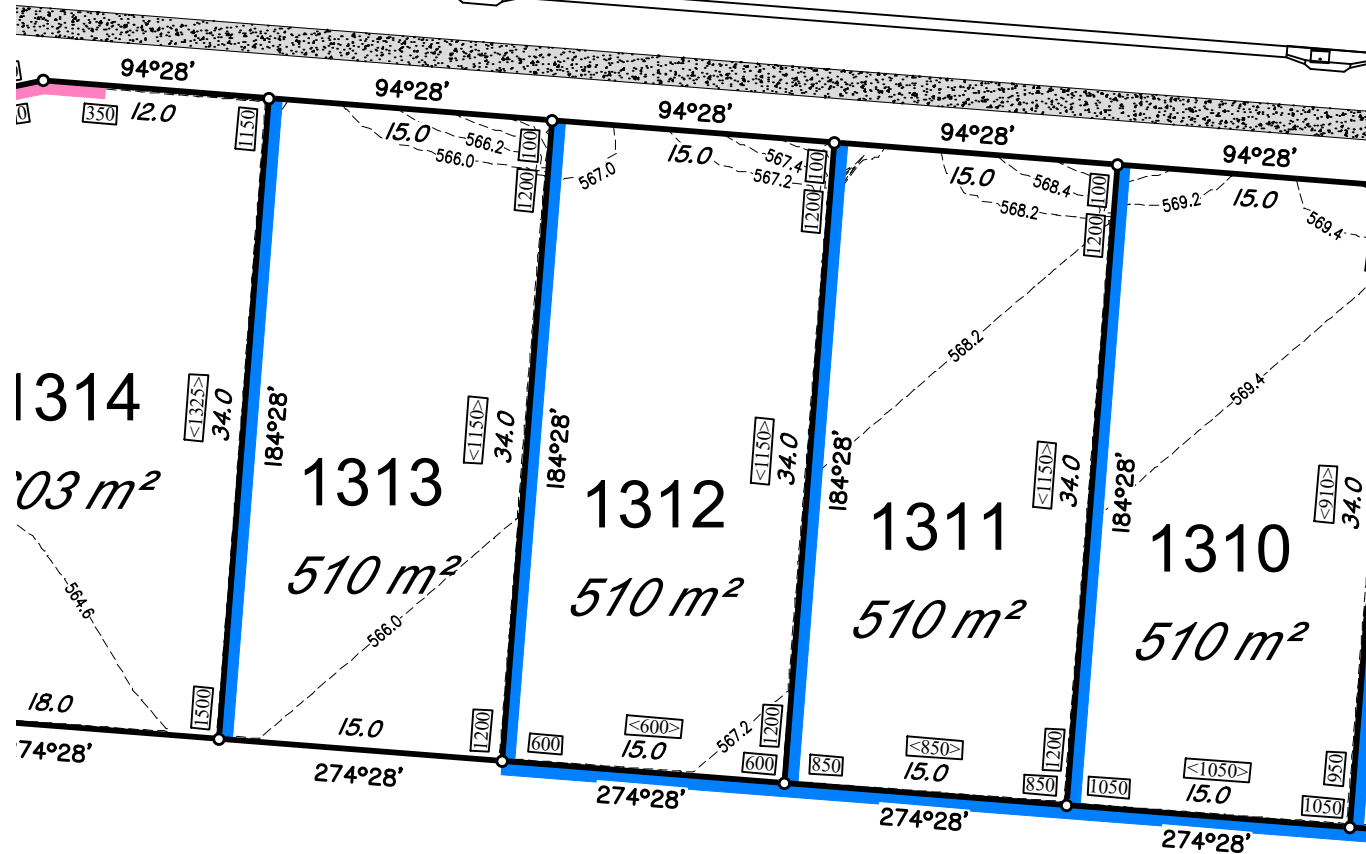


15146-DP- 1311

PROPOSED LOT 1312



ROAD 04



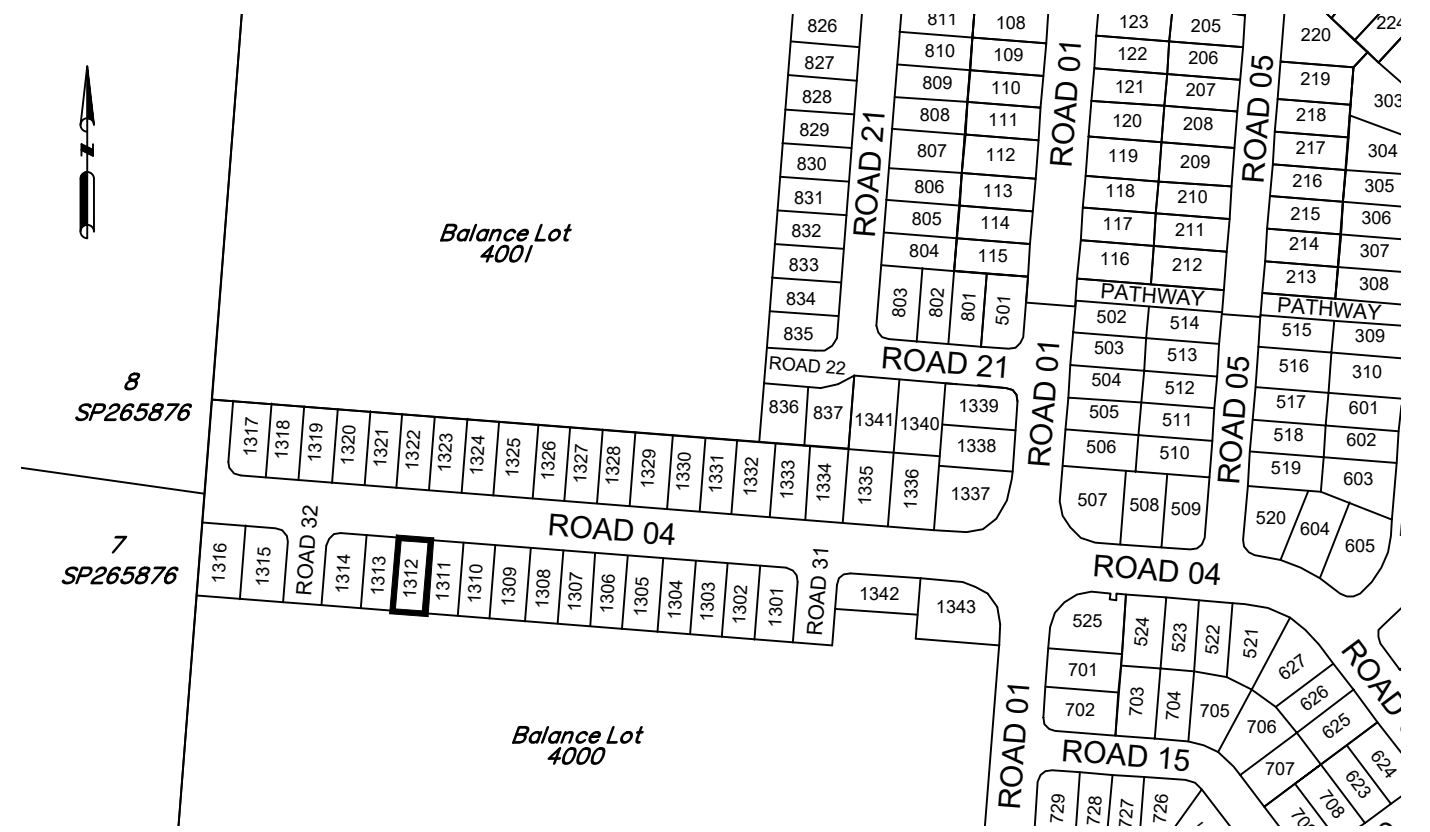
Balance Lot 4000

SCALE 1: 400 (A3)

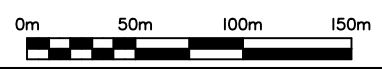


15146-DP- 1312

LOCALITY PLAN



SCALE 1: 3500 (A3)



DISCLOSURE PLAN FOR PROPOSED LOT 1312

This plan shows details of proposed Lot 1312 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 (now Lot 1000 on SP346978), located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

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LEGEND-NOTATIONS

- Indicates areas of fill and fill depths (metres)
- Conc. Sleeper Ret'g Wall
- Feature Sandstone Ret'g Wall
- Ret'g Wall Heights (mm)
- Average Wall Heights (mm)
- Concrete Path/Driveway
- Gully Inlet Pit
- Lot Boundary
- New EMT Bdy
- Design Contours
Contour Interval is 0.2 metre

Project:	Botanic Highfields
Client:	Bird in Hand 3 Pty Ltd
LOCALITY	WOOLMER
Local Authority	TOOWOOMBA R.C.

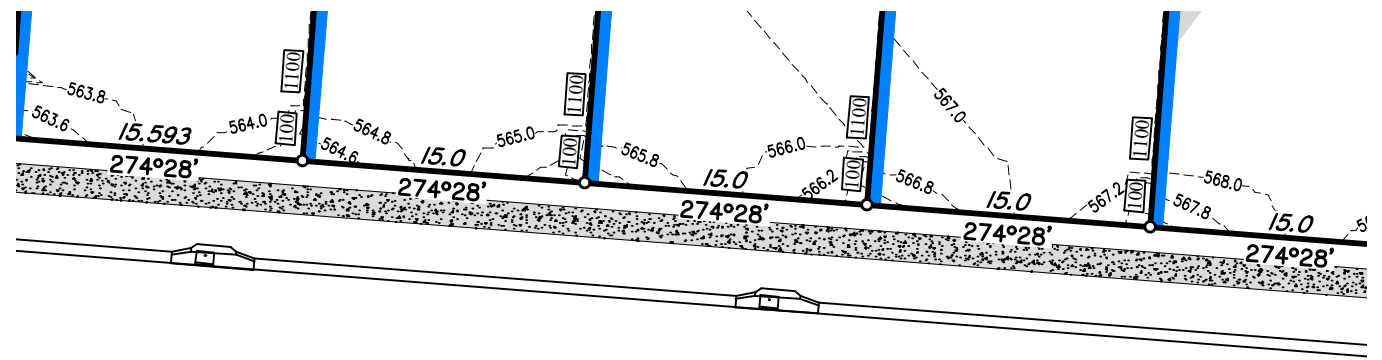
PARKINSON SURVEYS PTY.LTD.
 CONSULTING SURVEYORS
 185 Herries St, Toowoomba, 4350
 A.C.N. 604 671 123
 (07) 46323244, mail@parkinsonsurveys.com.au

Stephen M. Hanz 23/03/2026

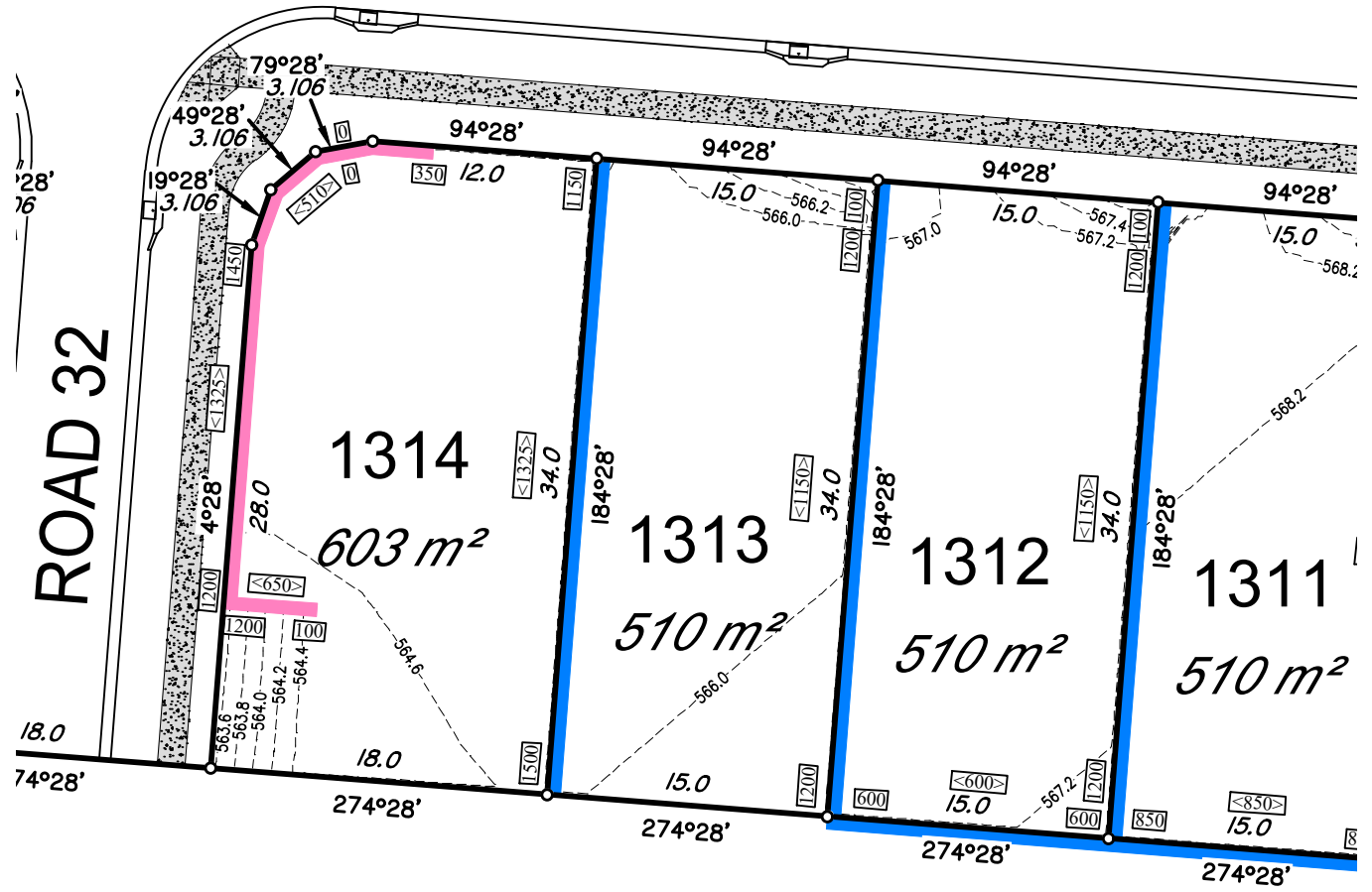
 Cadastral Surveyor Date

DATUM	A.H.D.D.	
LEVEL ORIGIN	TOPNET AllDayRTK	
SCALES	AS SHOWN	
DRAWN	SCM	DATE 23/03/2026
CHECKED	SCM	DATE 23/03/2026
PLAN NUMBER	15146-DP- 1312	

PROPOSED LOT 1313



ROAD 04



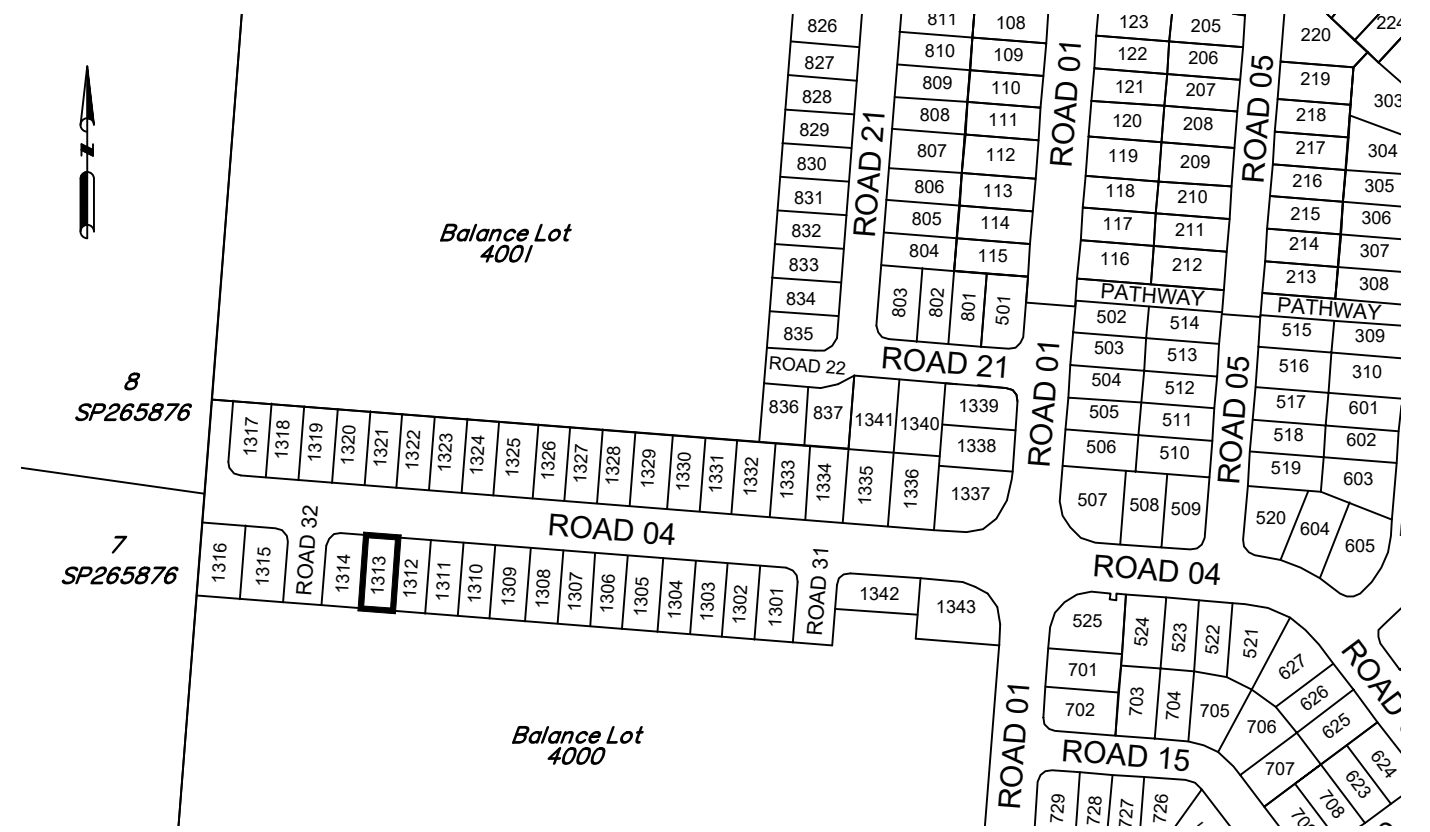
Balance Lot 4000

SCALE 1: 400 (A3)

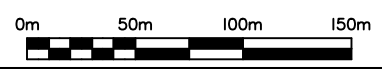


15146-DP- 1313

LOCALITY PLAN



SCALE 1: 3500 (A3)



DISCLOSURE PLAN FOR PROPOSED LOT 1313

This plan shows details of proposed Lot 1313 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 (now Lot 1000 on SP346978), located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

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LEGEND-NOTATIONS

- Indicates areas of fill and fill depths (metres)
- Conc. Sleeper Ret'g Wall
- Feature Sandstone Ret'g Wall
- Ret'g Wall Heights (mm)
- Average Wall Heights (mm)
- Concrete Path/Driveway
- Gully Inlet Pit
- Lot Boundary
- New EMT Bdy
- Design Contours
Contour Interval is 0.2 metre

Project: *Botanic Highfields*

PARKINSON SURVEYS PTY.LTD.
CONSULTING SURVEYORS

Client: Bird in Hand 3 Pty Ltd

185 Herries St, Toowoomba, 4350
A.C.N. 604 671 123
(07) 46323244, mail@parkinsonsurveys.com.au

LOCALITY: WOOLMER

Stephen M. Hanz 23/03/2026
Cadastral Surveyor Date

Local Authority: TOOWOOMBA R.C.

DATUM: A.H.D.D.

LEVEL ORIGIN: TOPNET AllDayRTK

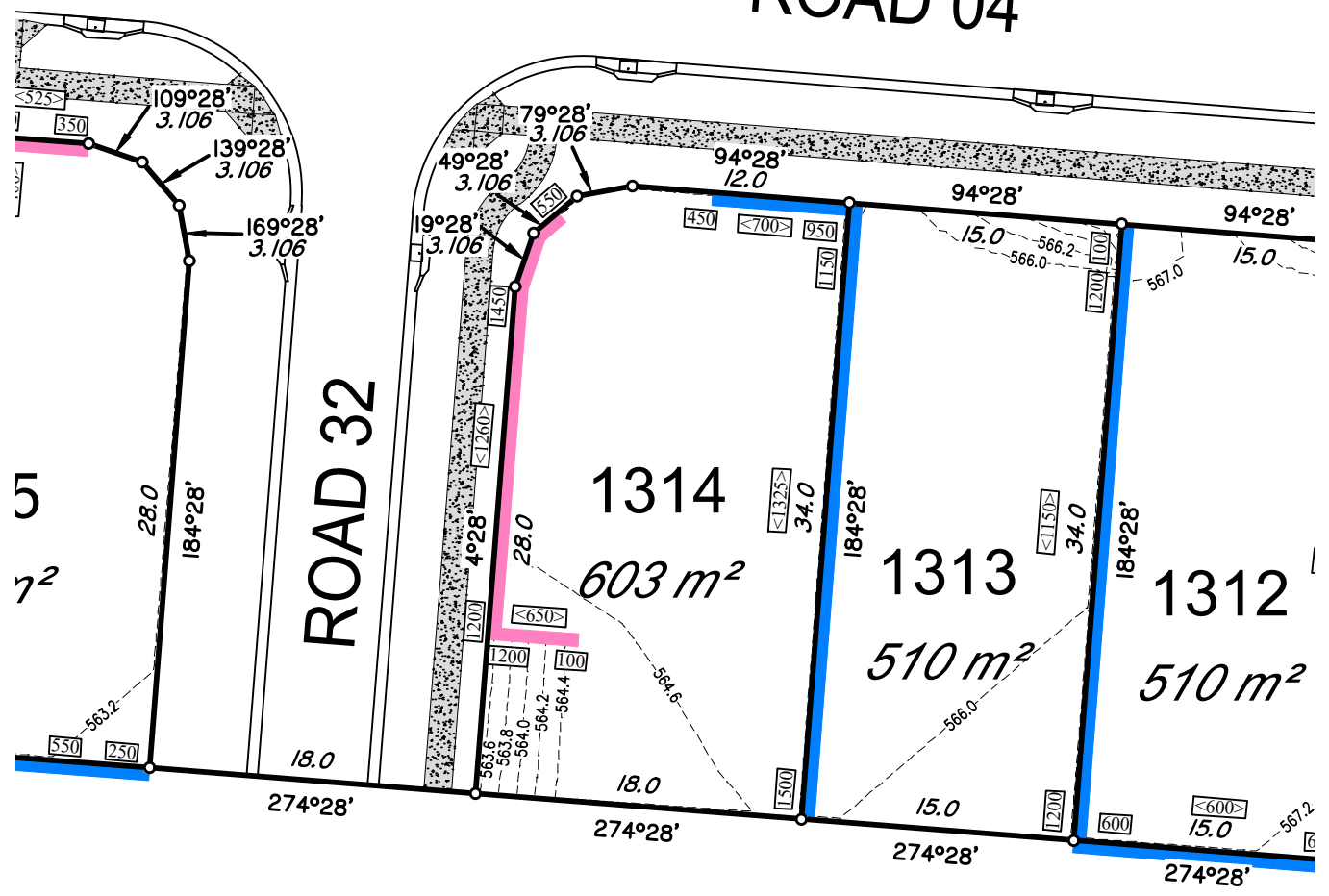
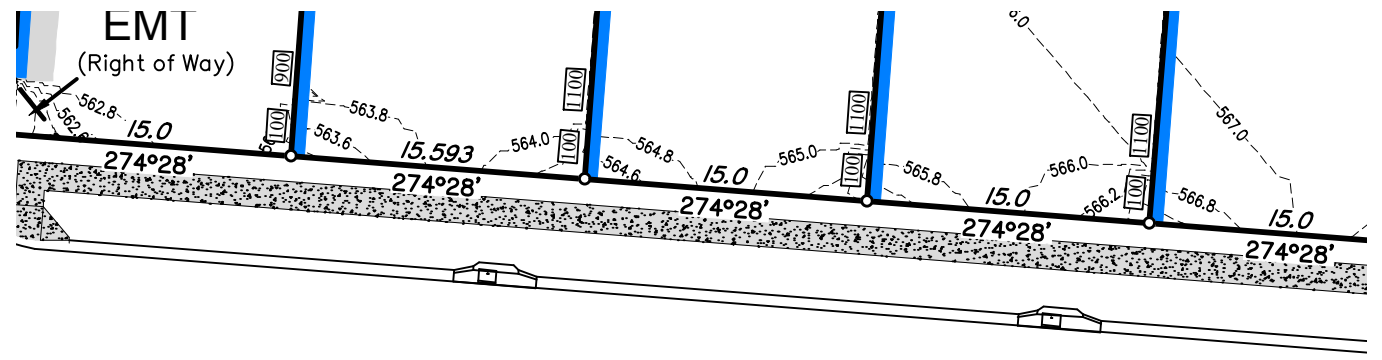
SCALES: AS SHOWN

DRAWN: SCM DATE: 23/03/2026

CHECKED: SCM DATE: 23/03/2026

PLAN NUMBER: 15146-DP- 1313

PROPOSED LOT 1314



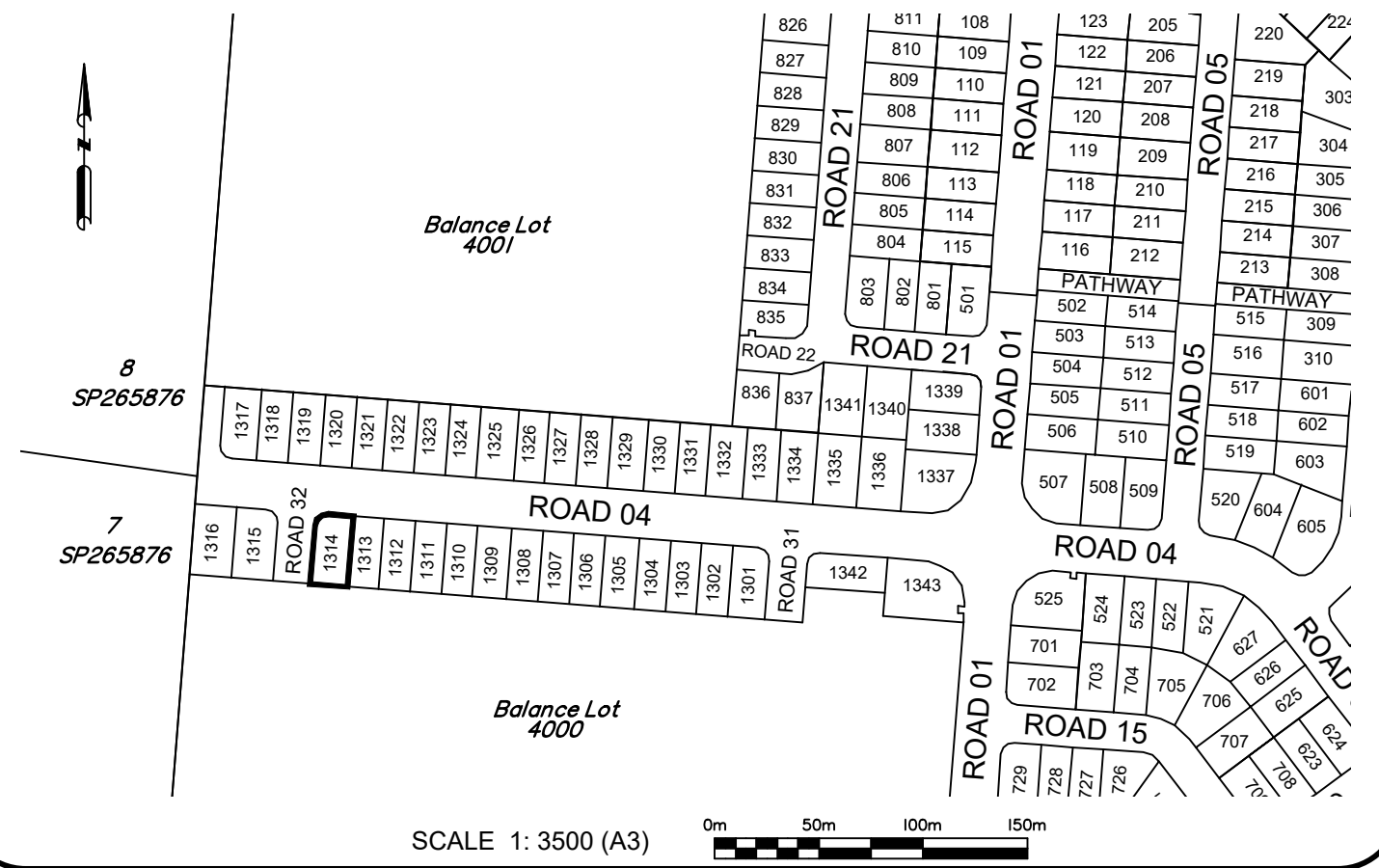
Balance Lot 4000

SCALE 1: 400 (A3)



15146-DP- 1314

LOCALITY PLAN



SCALE 1: 3500 (A3)



DISCLOSURE PLAN FOR PROPOSED LOT 1314

This plan shows details of proposed Lot 1314 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 & located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

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LEGEND-NOTATIONS

- Indicates areas of fill and fill depths (metres)
 - Conc. Sleeper Ret'g Wall
 - Feature Sandstone Ret'g Wall
 - Conc. Block Ret'g Wall
 - Ret'g Wall Heights (mm)
 - Average Wall Heights (mm)
 - Concrete Path/Driveway
 - Gully Inlet Pit
 - Lot Boundary
 - New EMT Bdy
 - Design Contours
- Contour Interval is 0.2 metre

Project:	Botanic Highfields
Client:	Bird in Hand 3 Pty Ltd
LOCALITY	WOOLMER
Local Authority	TOOWOOMBA R.C.

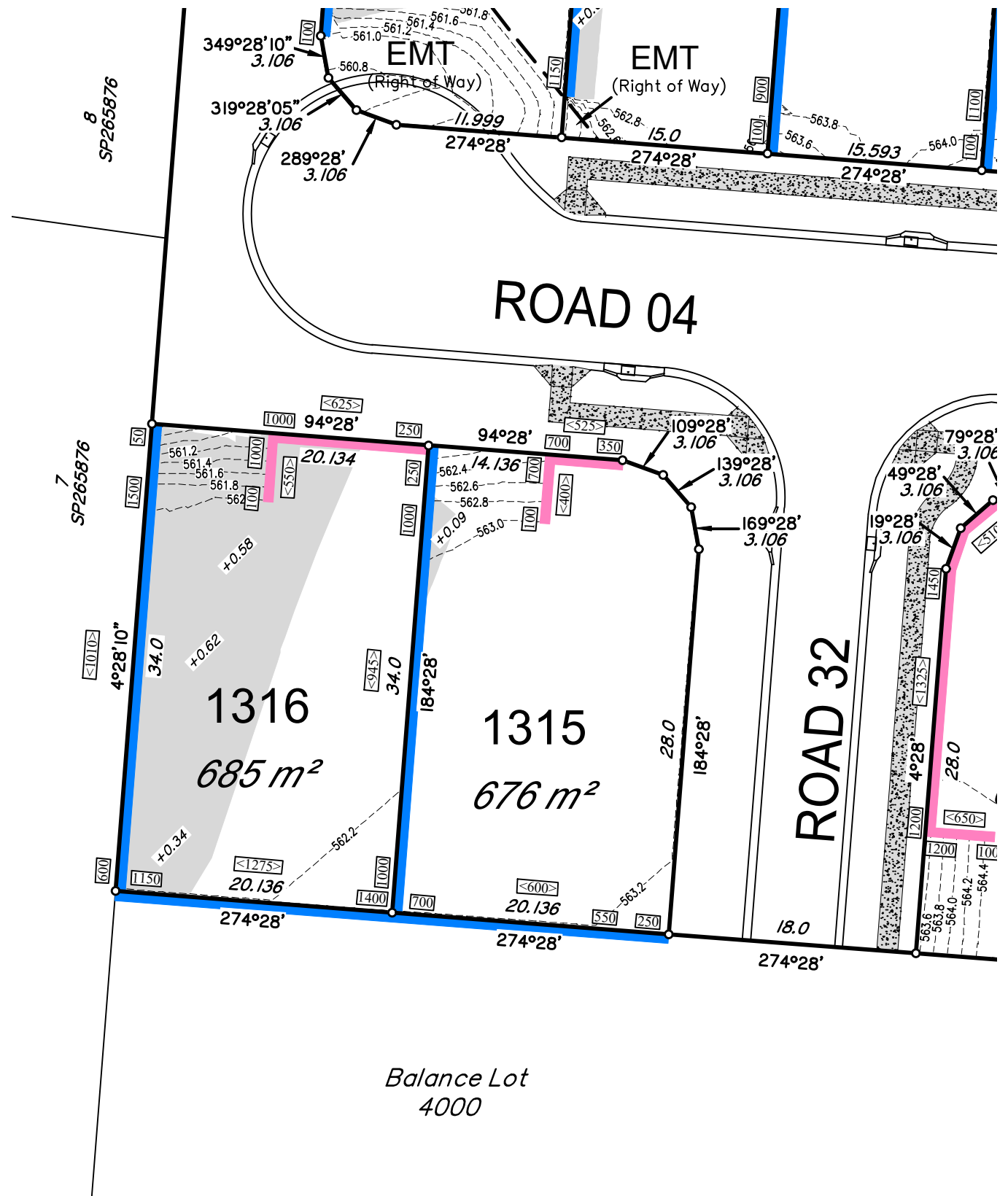
PARKINSON SURVEYS PTY.LTD.
 CONSULTING SURVEYORS
 185 Herries St, Toowoomba, 4350
 A.C.N. 604 671 123
 (07) 46323244, mail@parkinsonsurveys.com.au

Stephen M. King
 Cadastral Surveyor

30/04/2026
 Date

DATUM	A.H.D.D.	
LEVEL ORIGIN	TOPNET AllDayRTK	
SCALES	AS SHOWN	
DRAWN	SCM	DATE 30/04/2026
CHECKED	SCM	DATE 30/04/2026
PLAN NUMBER	15146-DP- 1314	

PROPOSED LOT 1315

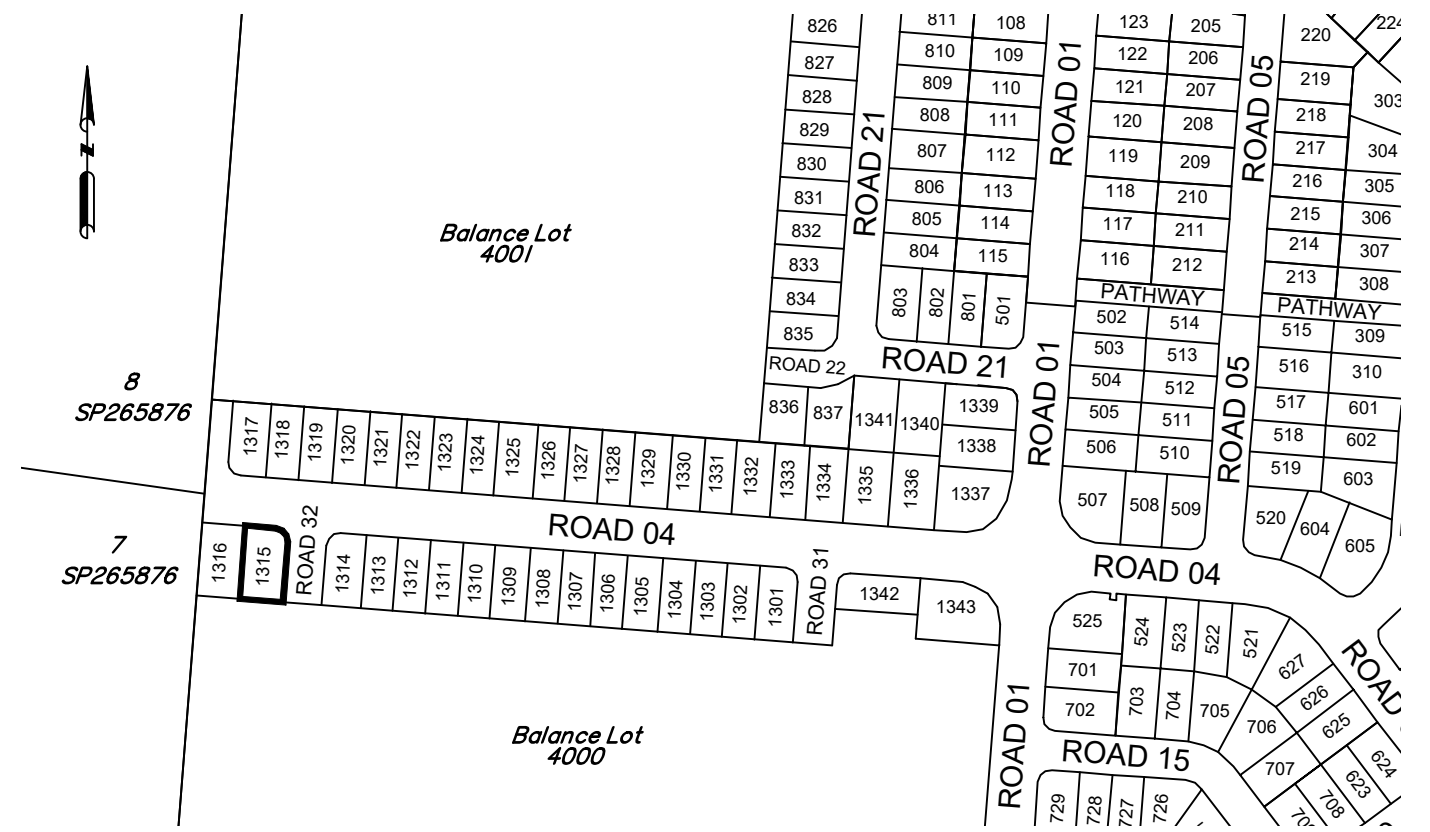


SCALE 1: 400 (A3)



15146-DP- 1315

LOCALITY PLAN



SCALE 1: 3500 (A3)



DISCLOSURE PLAN FOR PROPOSED LOT 1315

This plan shows details of proposed Lot 1315 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 (now Lot 1000 on SP346978), located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

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LEGEND-NOTATIONS

- Indicates areas of fill and fill depths (metres)
 - Conc. Sleeper Ret'g Wall
 - Feature Sandstone Ret'g Wall
 - Ret'g Wall Heights (mm)
 - Average Wall Heights (mm)
 - Concrete Path/Driveway
 - Gully Inlet Pit
 - Lot Boundary
 - New EMT Bdy
 - Design Contours
- Contour Interval is 0.2 metre

Project:	Botanic Highfields
Client:	Bird in Hand 3 Pty Ltd
LOCALITY	WOOLMER
Local Authority	TOOWOOMBA R.C.

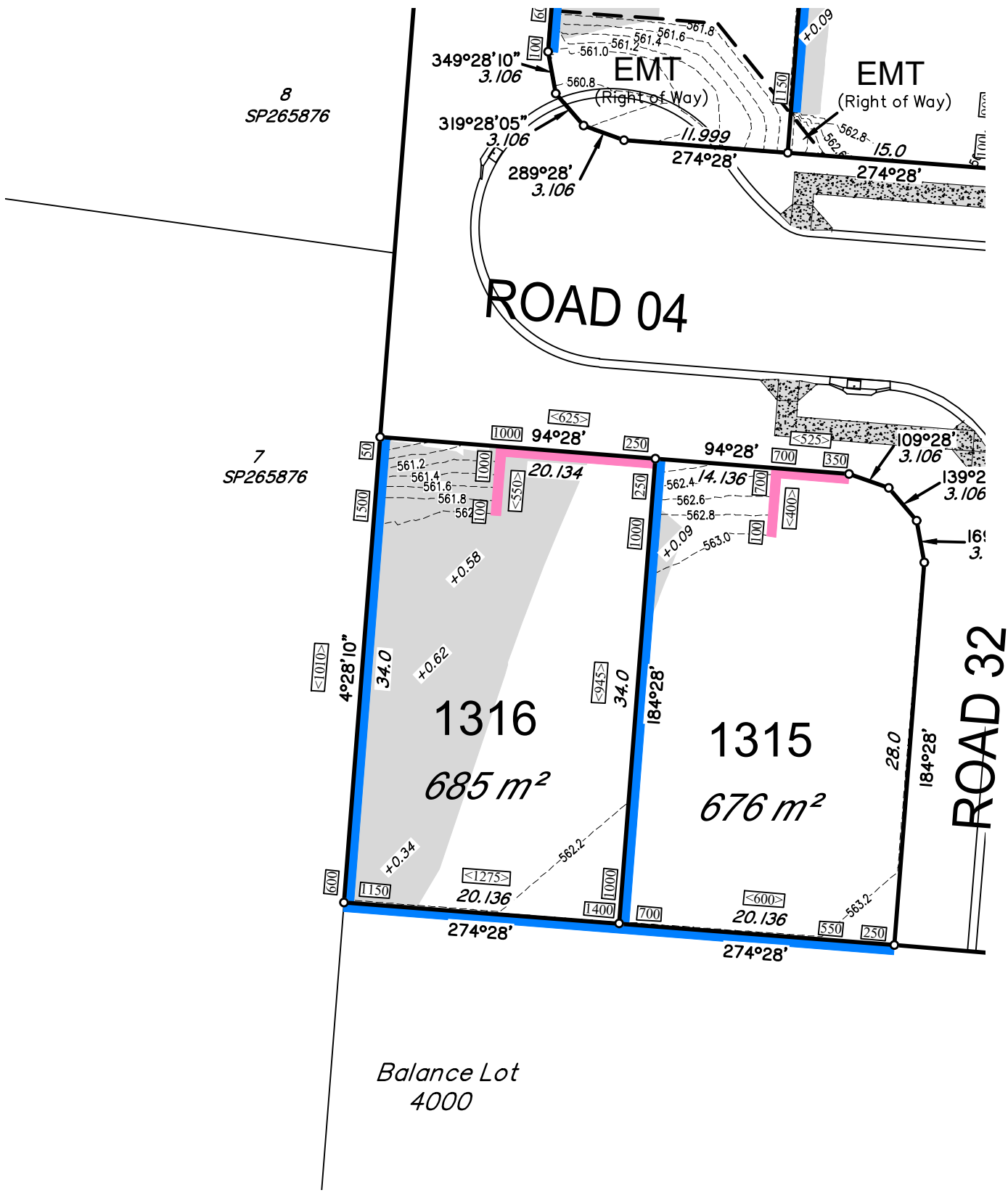
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Stephen M. Hanz 23/03/2026

 Cadastral Surveyor Date

DATUM	A.H.D.D.	
LEVEL ORIGIN	TOPNET AllDayRTK	
SCALES	AS SHOWN	
DRAWN	SCM	DATE 23/03/2026
CHECKED	SCM	DATE 23/03/2026
PLAN NUMBER	15146-DP- 1315	

PROPOSED LOT 1316

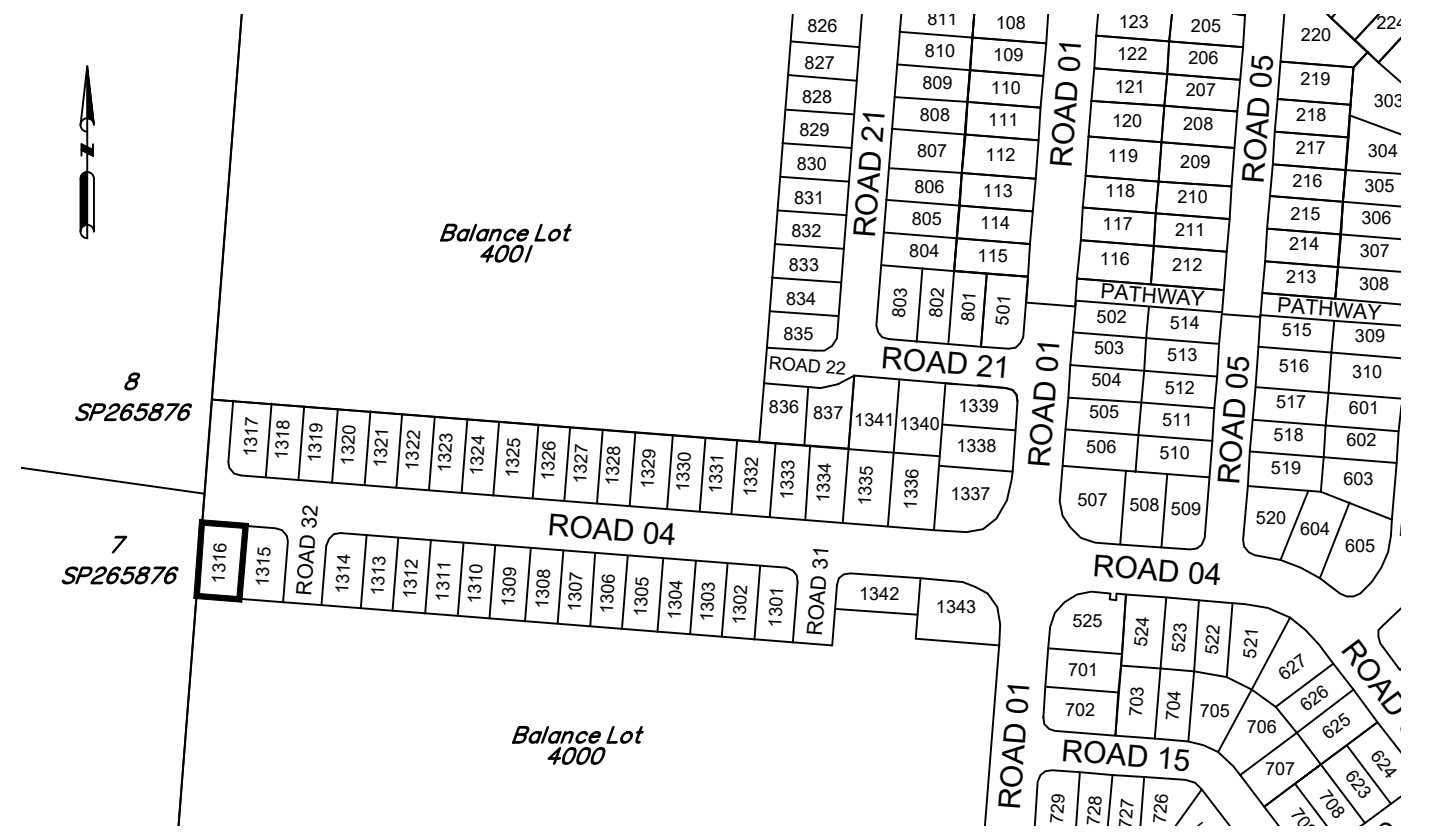


SCALE 1: 400 (A3)



15146-DP- 1316

LOCALITY PLAN



SCALE 1: 3500 (A3)



DISCLOSURE PLAN FOR PROPOSED LOT 1316

This plan shows details of proposed Lot 1316 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 (now Lot 1000 on SP346978), located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

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LEGEND-NOTATIONS

- +0.41 Indicates areas of fill and fill depths (metres)
 - Conc. Sleeper Ret'g Wall
 - Feature Sandstone Ret'g Wall
 - Ret'g Wall Heights (mm)
 - Average Wall Heights (mm)
 - Concrete Path/Driveway
 - Gully Inlet Pit
 - Lot Boundary
 - New EMT Bdy
 - Design Contours
- Contour Interval is 0.2 metre

Project:	Botanic Highfields
Client:	Bird in Hand 3 Pty Ltd
LOCALITY	WOOLMER
Local Authority	TOOWOOMBA R.C.

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 CONSULTING SURVEYORS
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 A.C.N. 604 671 123
 (07) 46323244, mail@parkinsonsurveys.com.au

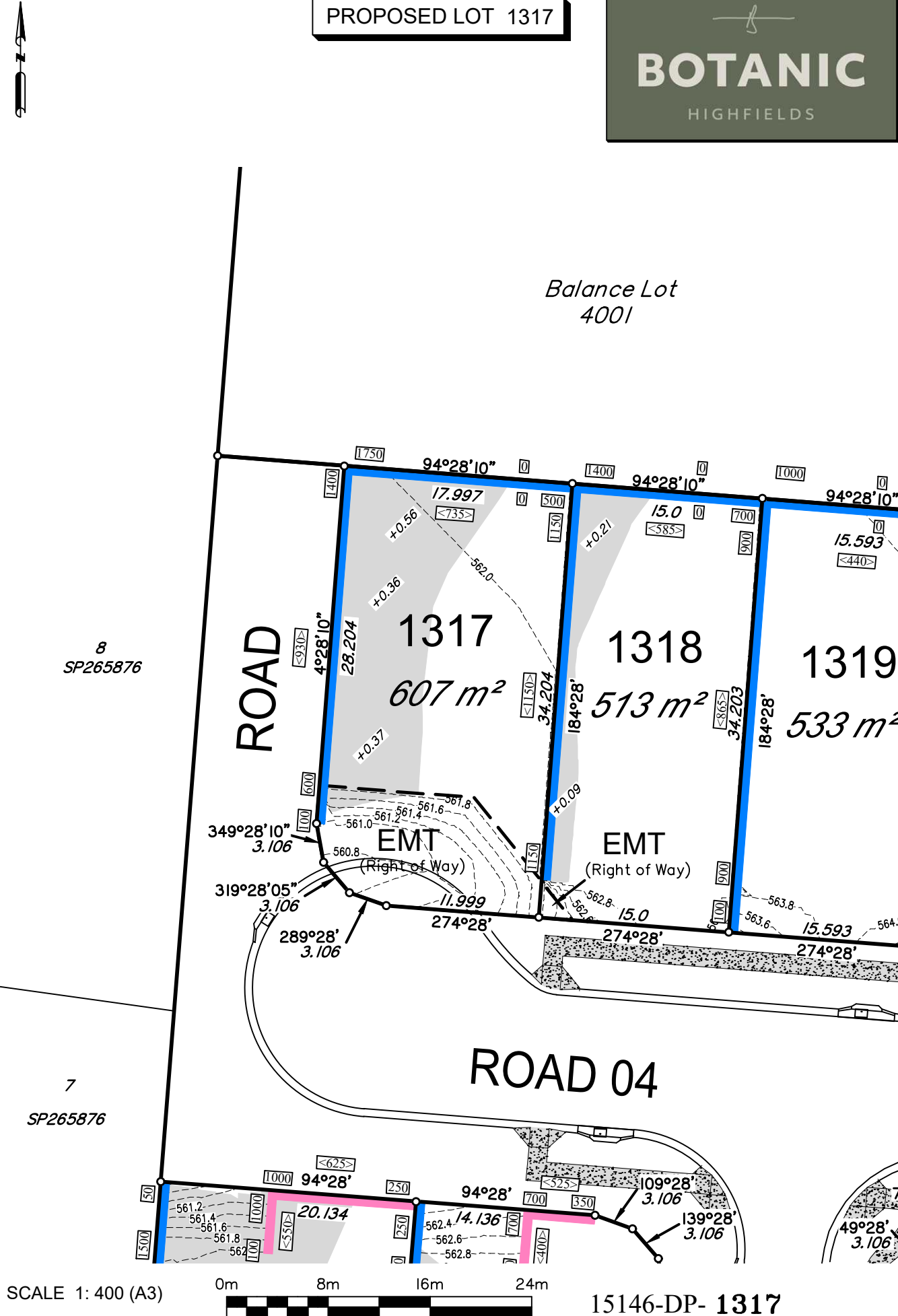
Stephen M. Hanz 23/03/2026

 Cadastral Surveyor Date

DATUM	A.H.D.D.	
LEVEL ORIGIN	TOPNET AllDayRTK	
SCALES	AS SHOWN	
DRAWN	SCM	DATE 23/03/2026
CHECKED	SCM	DATE 23/03/2026
PLAN NUMBER	15146-DP- 1316	

PROPOSED LOT 1317

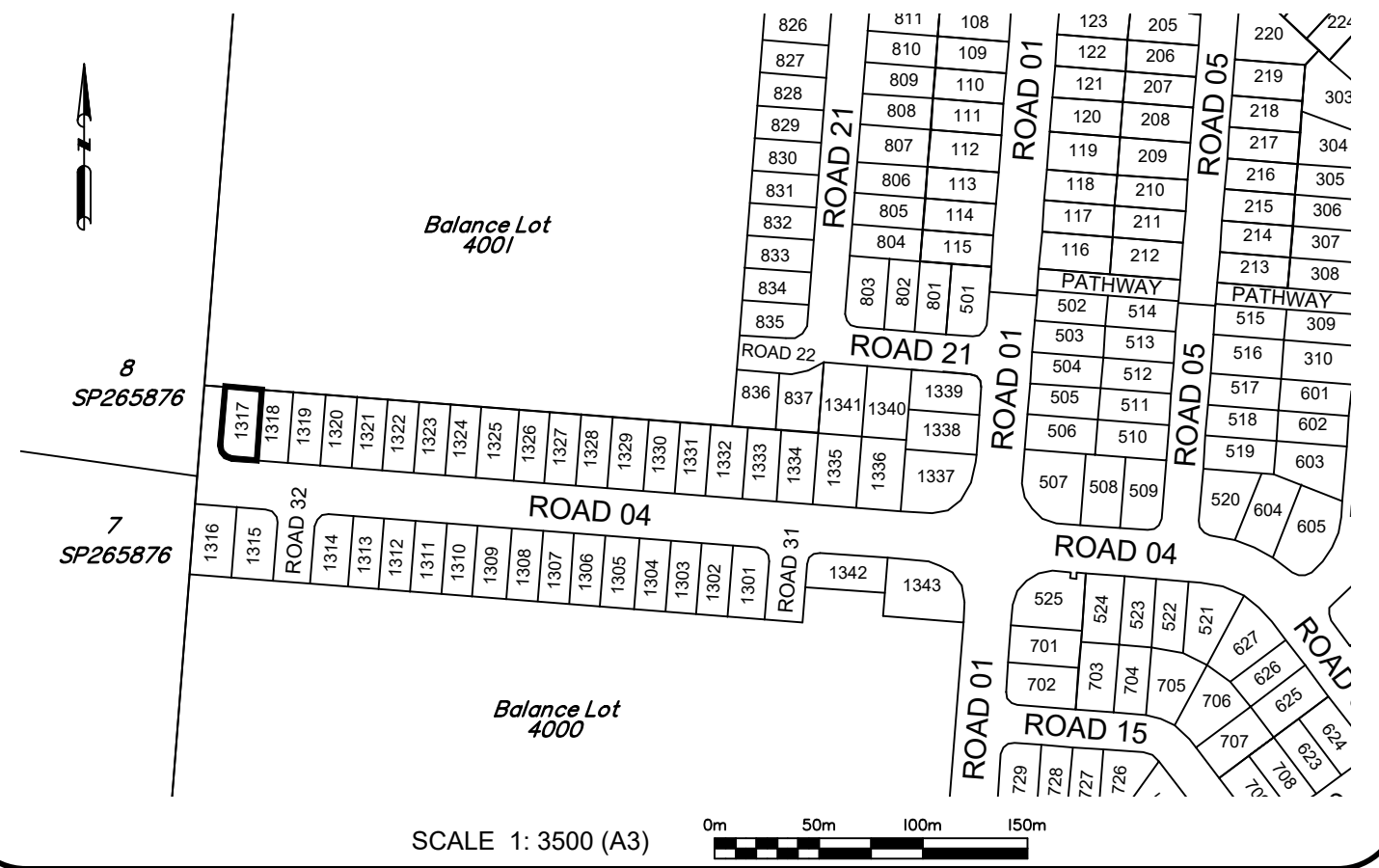
BOTANIC
HIGHFIELDS



SCALE 1: 400 (A3)

15146-DP- 1317

LOCALITY PLAN



SCALE 1: 3500 (A3)

DISCLOSURE PLAN
FOR PROPOSED LOT 1317

This plan shows details of proposed Lot 1317 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 (now Lot 1000 on SP346978), located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

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LEGEND-NOTATIONS

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 - Conc. Sleeper Ret'g Wall
 - Feature Sandstone Ret'g Wall
 - Ret'g Wall Heights (mm)
 - Average Wall Heights (mm)
 - Concrete Path/Driveway
 - Gully Inlet Pit
 - Lot Boundary
 - New EMT Bdy
 - Design Contours
- Contour Interval is 0.2 metre

Project: *Botanic Highfields*
Client: Bird in Hand 3 Pty Ltd
LOCALITY: WOOLMER
Local Authority: TOOWOOMBA R.C.

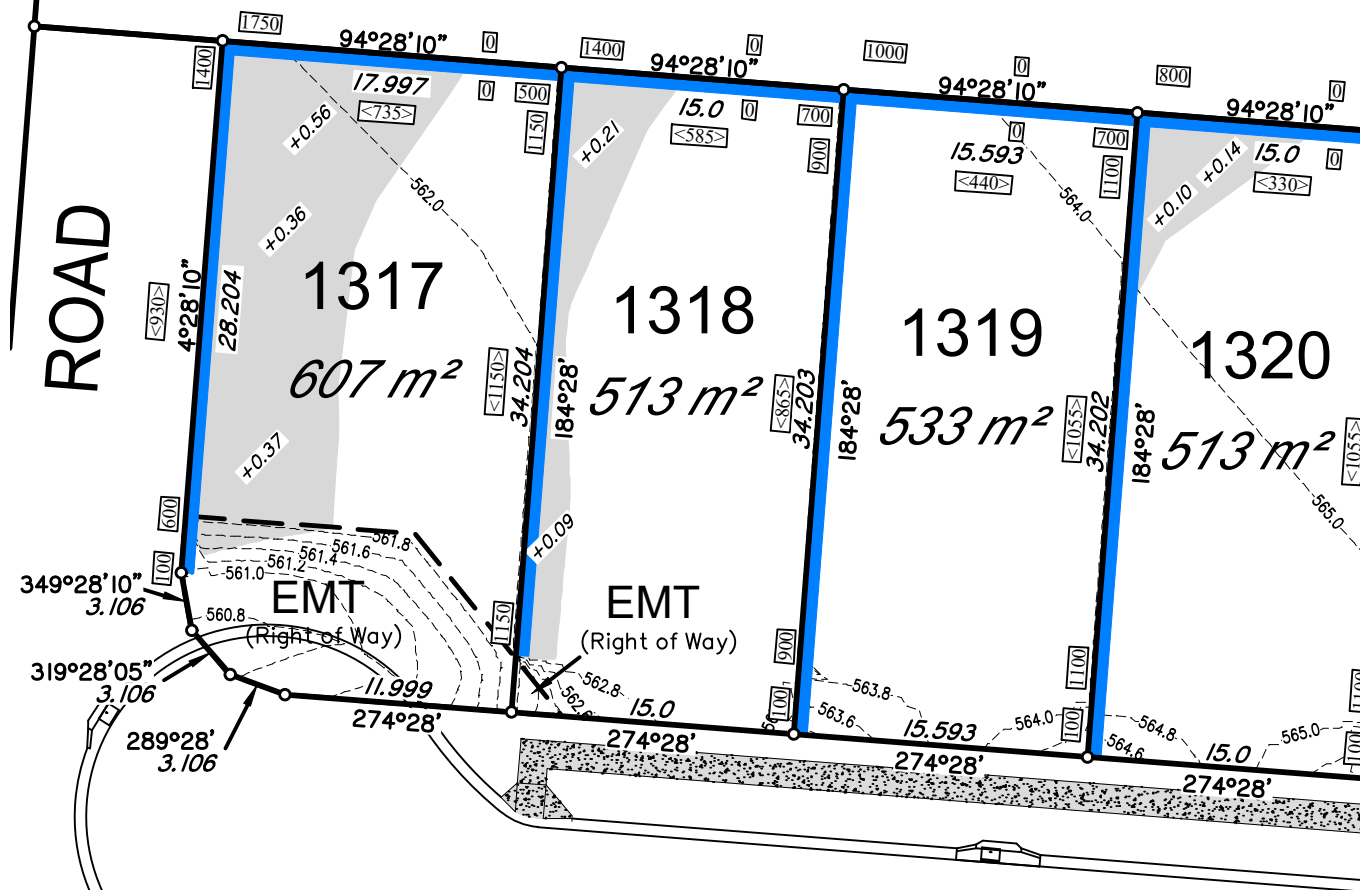
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185 Herries St, Toowoomba, 4350
A.C.N. 604 671 123
(07) 46323244, mail@parkinsonsurveys.com.au
Stephen M. Hanz
Cadastral Surveyor
23/03/2026
Date

DATUM	A.H.D.D.	
LEVEL ORIGIN	TOPNET AllDayRTK	
SCALES	AS SHOWN	
DRAWN	SCM	DATE 23/03/2026
CHECKED	SCM	DATE 23/03/2026
PLAN NUMBER	15146-DP- 1317	

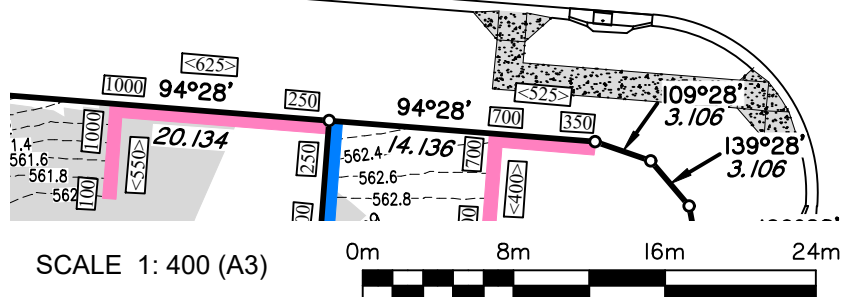
PROPOSED LOT 1318

BOTANIC
HIGHFIELDS

Balance Lot
4001



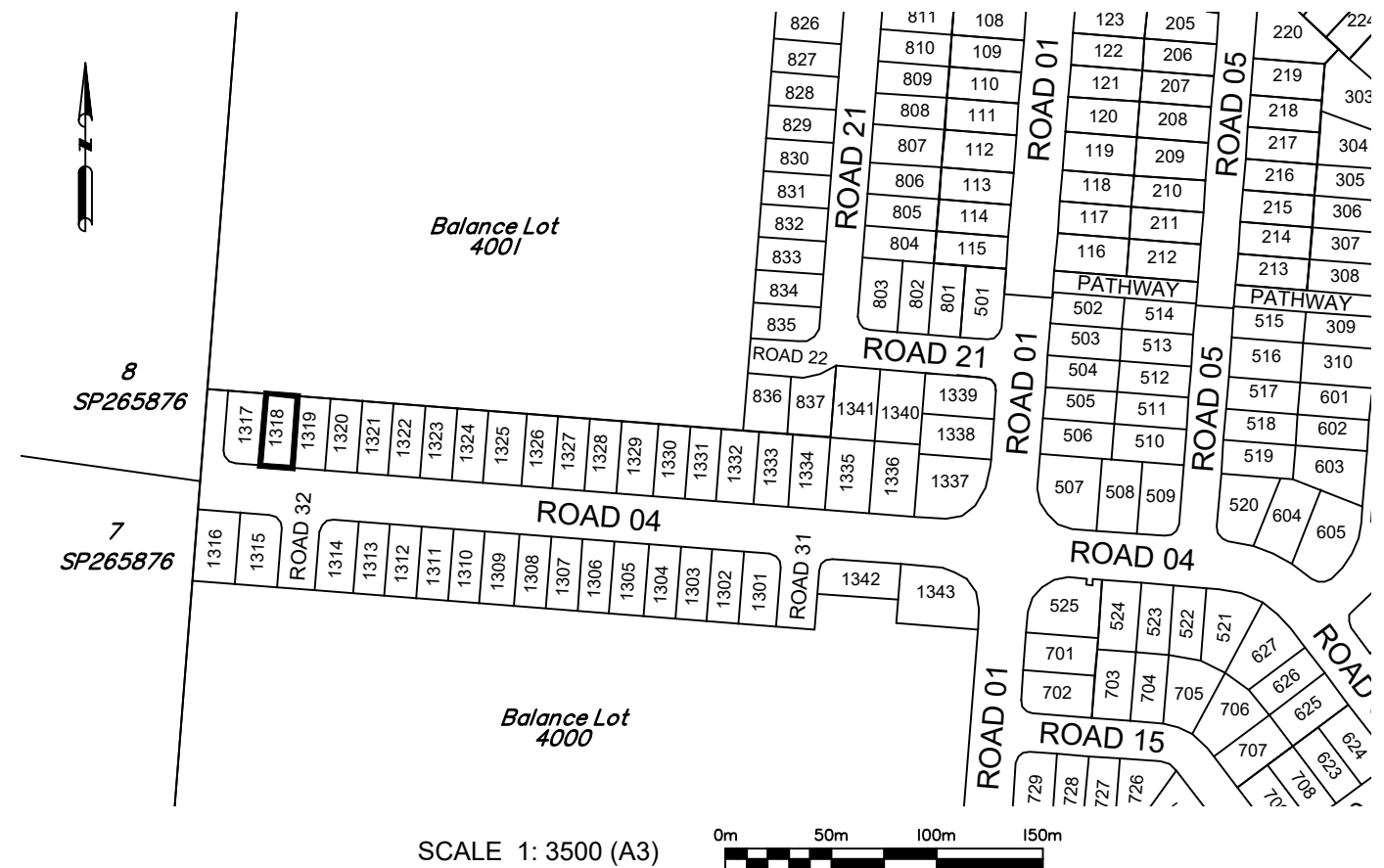
ROAD 04



SCALE 1: 400 (A3)

15146-DP- 1318

LOCALITY PLAN



SCALE 1: 3500 (A3)

DISCLOSURE PLAN
FOR PROPOSED LOT 1318

This plan shows details of proposed Lot 1318 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 (now Lot 1000 on SP346978), located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

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LEGEND-NOTATIONS

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 - Conc. Sleeper Ret'g Wall
 - Feature Sandstone Ret'g Wall
 - Ret'g Wall Heights (mm)
 - Average Wall Heights (mm)
 - Concrete Path/Driveway
 - Gully Inlet Pit
 - Lot Boundary
 - New EMT Bdy
 - Design Contours
- Contour Interval is 0.2 metre

Project: *Botanic Highfields*

Client: Bird in Hand 3 Pty Ltd

LOCALITY: WOOLMER
Local Authority: TOOWOOMBA R.C.

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A.C.N. 604 671 123
(07) 46323244, mail@parkinsonsurveys.com.au

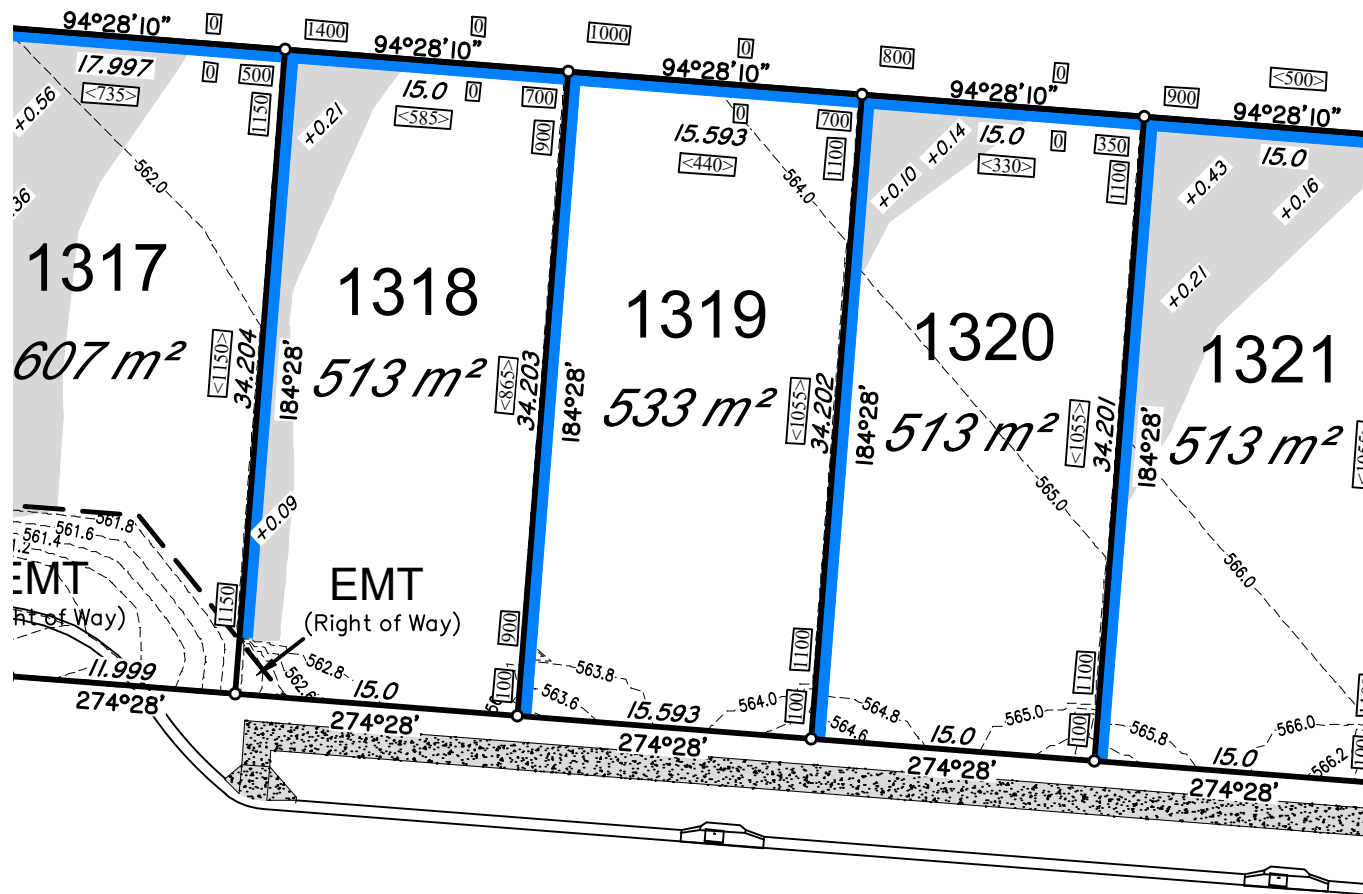
Stephen M. Hanz 23/03/2026
Cadastral Surveyor Date

DATUM	A.H.D.D.	
LEVEL ORIGIN	TOPNET AllDayRTK	
SCALES	AS SHOWN	
DRAWN	SCM	DATE 23/03/2026
CHECKED	SCM	DATE 23/03/2026
PLAN NUMBER	15146-DP- 1318	

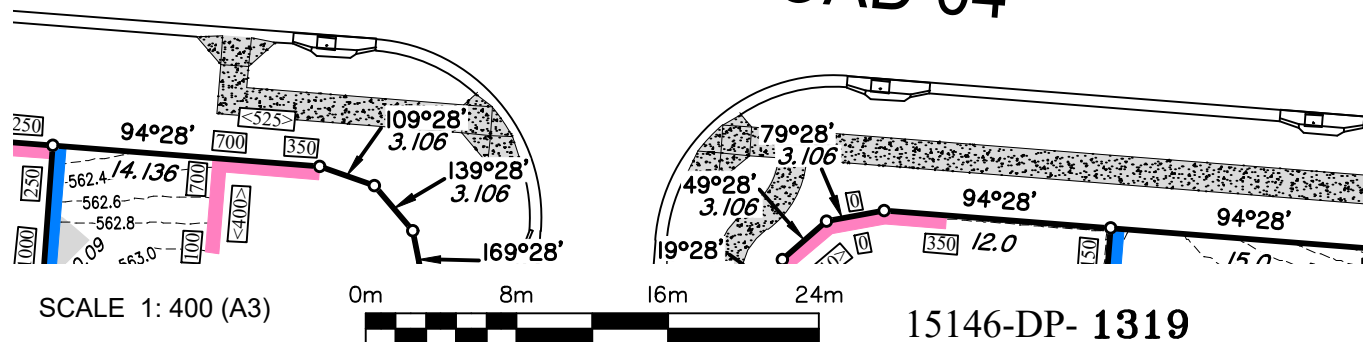
PROPOSED LOT 1319

BOTANIC
HIGHFIELDS

Balance Lot
4001



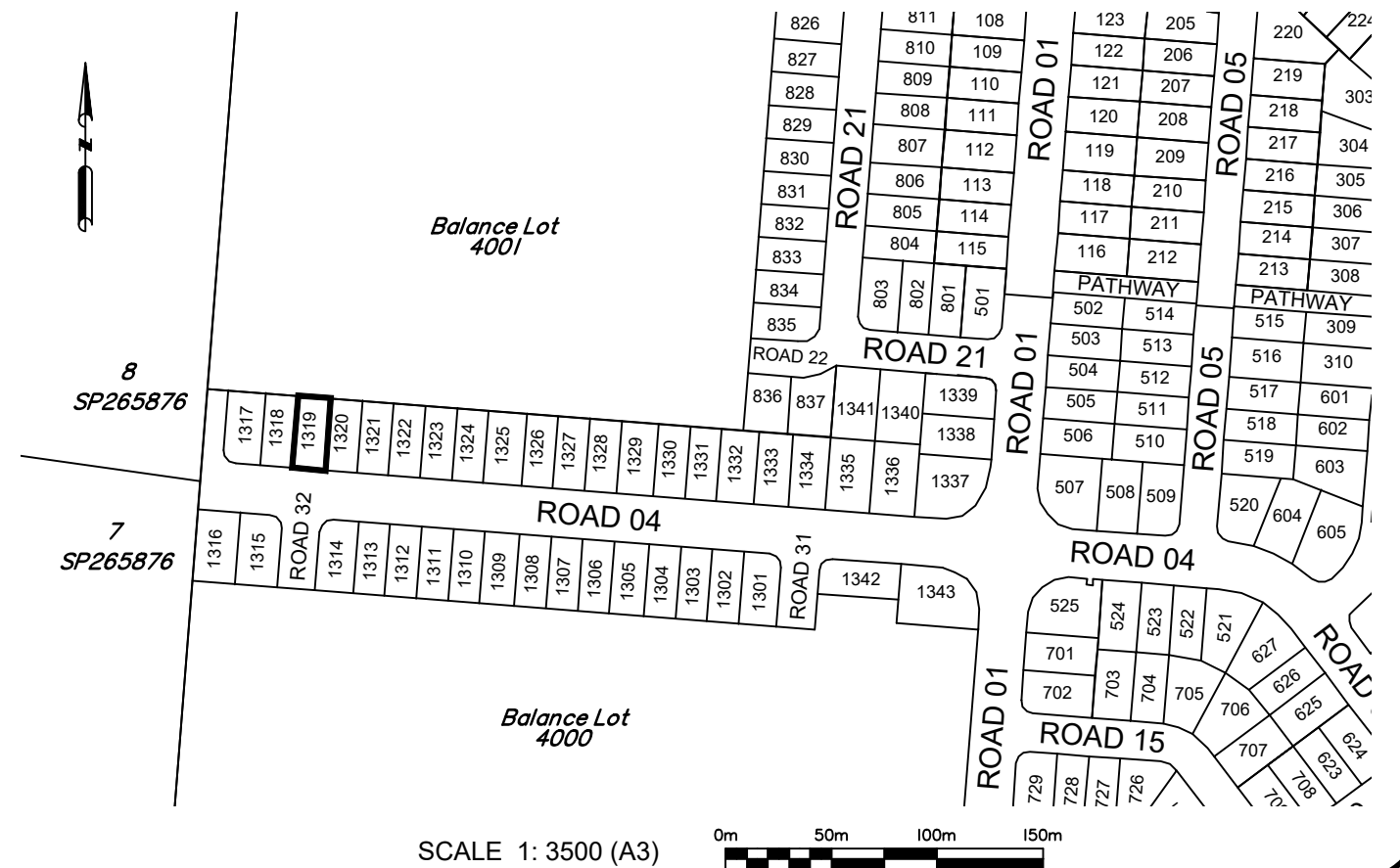
ROAD 04



SCALE 1: 400 (A3)

15146-DP- 1319

LOCALITY PLAN



SCALE 1: 3500 (A3)



DISCLOSURE PLAN
FOR PROPOSED LOT 1319

This plan shows details of proposed Lot 1319 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 (now Lot 1000 on SP346978), located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

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LEGEND-NOTATIONS

- Indicates areas of fill and fill depths (metres)
 - Conc. Sleeper Ret'g Wall
 - Feature Sandstone Ret'g Wall
 - Ret'g Wall Heights (mm)
 - Average Wall Heights (mm)
 - Concrete Path/Driveway
 - Gully Inlet Pit
 - Lot Boundary
 - New EMT Bdy
 - Design Contours
- Contour Interval is 0.2 metre

Project: *Botanic Highfields*

Client: Bird in Hand 3 Pty Ltd

LOCALITY: WOOLMER
Local Authority: TOOWOOMBA R.C.

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(07) 46323244, mail@parkinsonsurveys.com.au

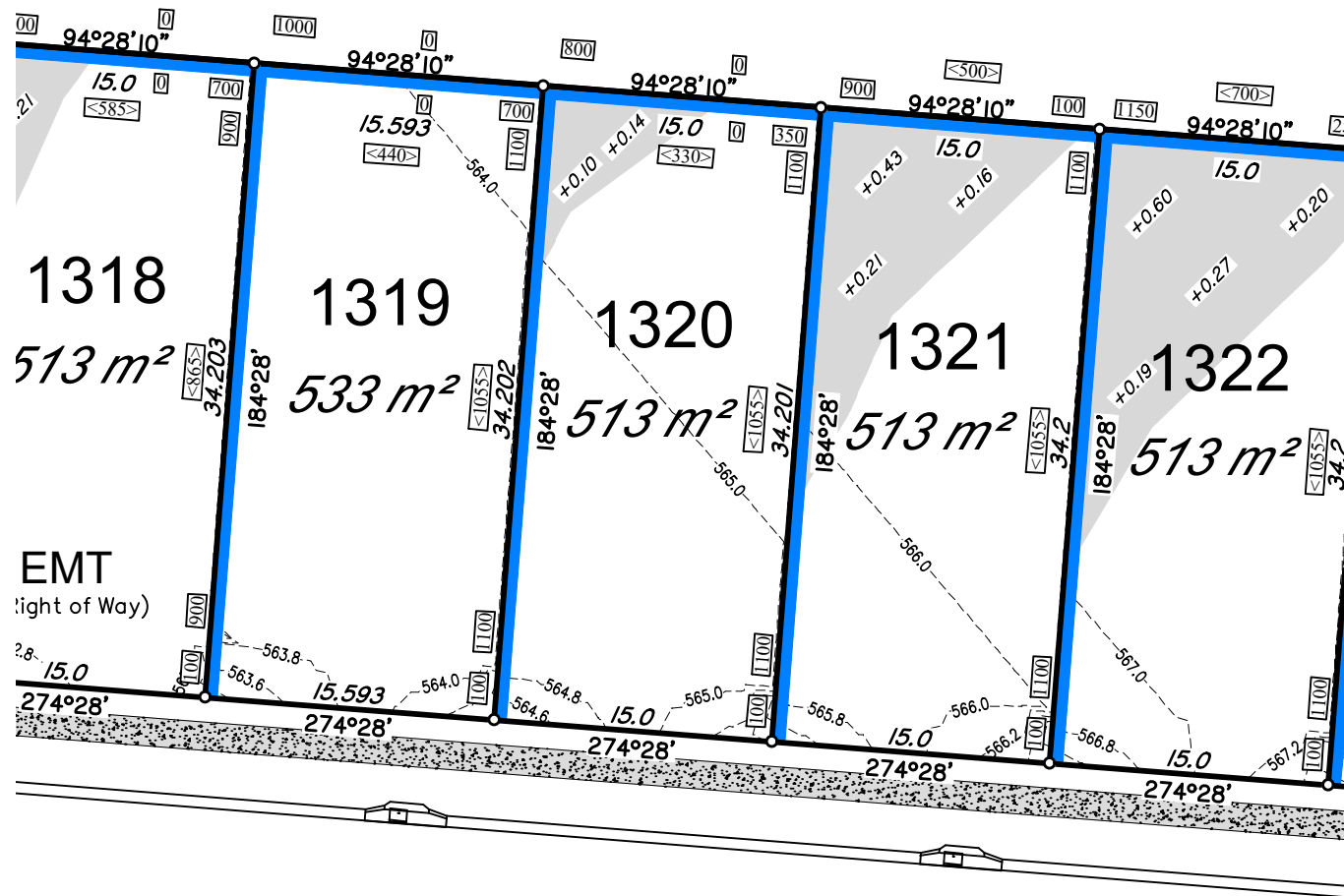
Stephen M. Hanz 23/03/2026
Cadastral Surveyor Date

DATUM	A.H.D.D.	
LEVEL ORIGIN	TOPNET AllDayRTK	
SCALES	AS SHOWN	
DRAWN	SCM	DATE 23/03/2026
CHECKED	SCM	DATE 23/03/2026
PLAN NUMBER	15146-DP- 1319	

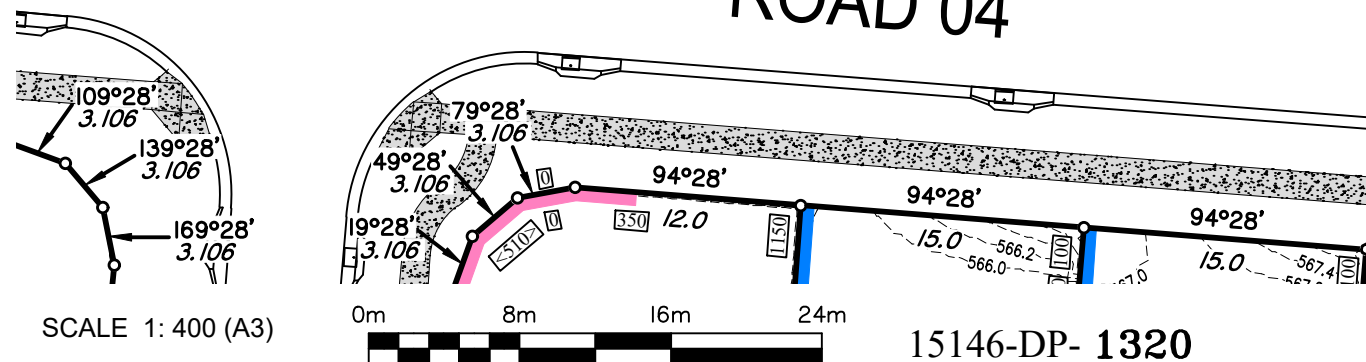
PROPOSED LOT 1320

BOTANIC
HIGHFIELDS

Balance Lot
4001



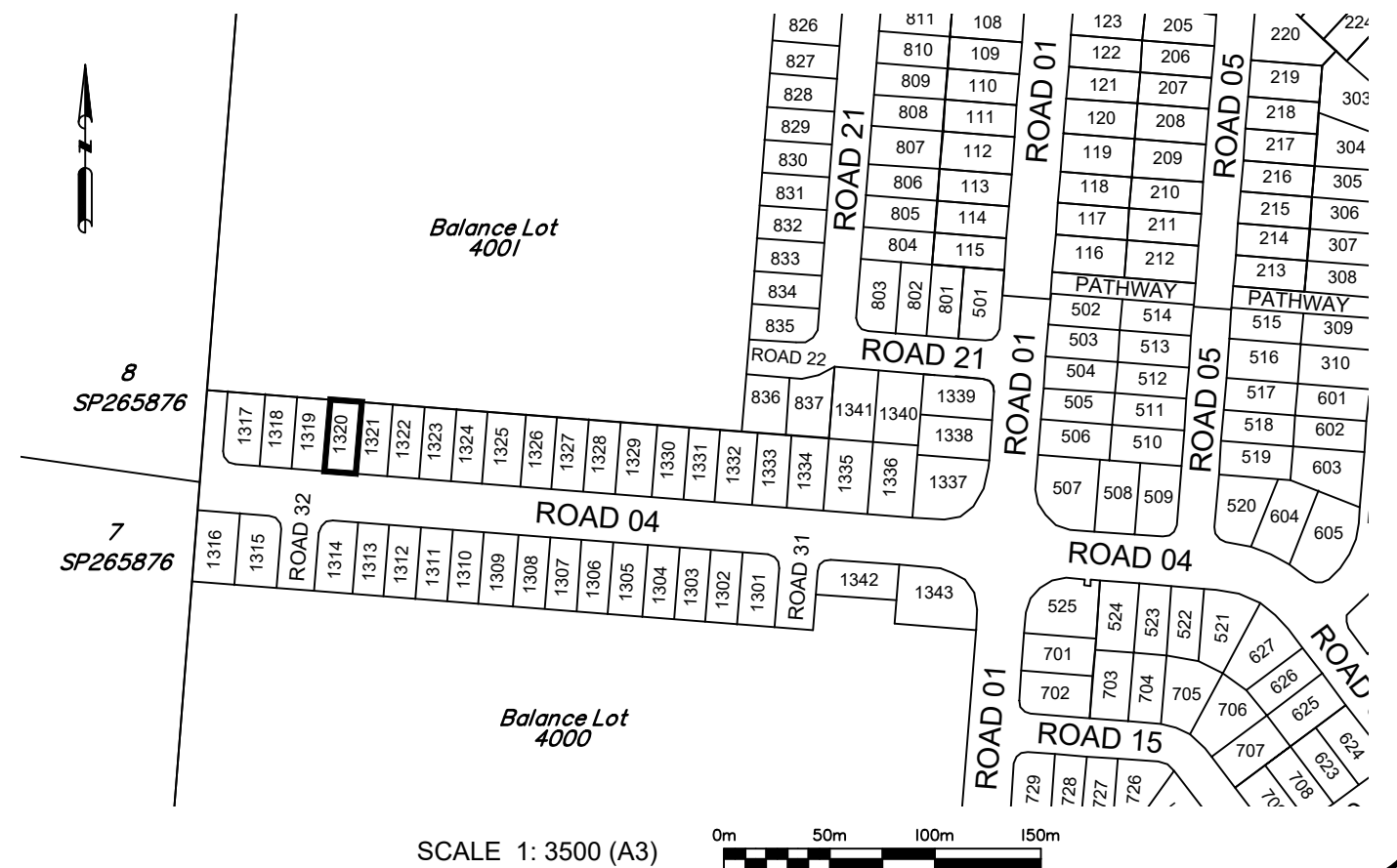
ROAD 04



SCALE 1: 400 (A3)

15146-DP- 1320

LOCALITY PLAN



SCALE 1: 3500 (A3)

DISCLOSURE PLAN
FOR PROPOSED LOT 1320

This plan shows details of proposed Lot 1320 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 (now Lot 1000 on SP346978), located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

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LEGEND-NOTATIONS

- +0.41 Indicates areas of fill and fill depths (metres)
 - Conc. Sleeper Ret'g Wall
 - Feature Sandstone Ret'g Wall
 - Ret'g Wall Heights (mm)
 - Average Wall Heights (mm)
 - Concrete Path/Driveway
 - Gully Inlet Pit
 - Lot Boundary
 - New EMT Bdy
 - Design Contours
- Contour Interval is 0.2 metre

Project: *Botanic Highfields*

Client: Bird in Hand 3 Pty Ltd

LOCALITY: WOOLMER
Local Authority: TOOWOOMBA R.C.

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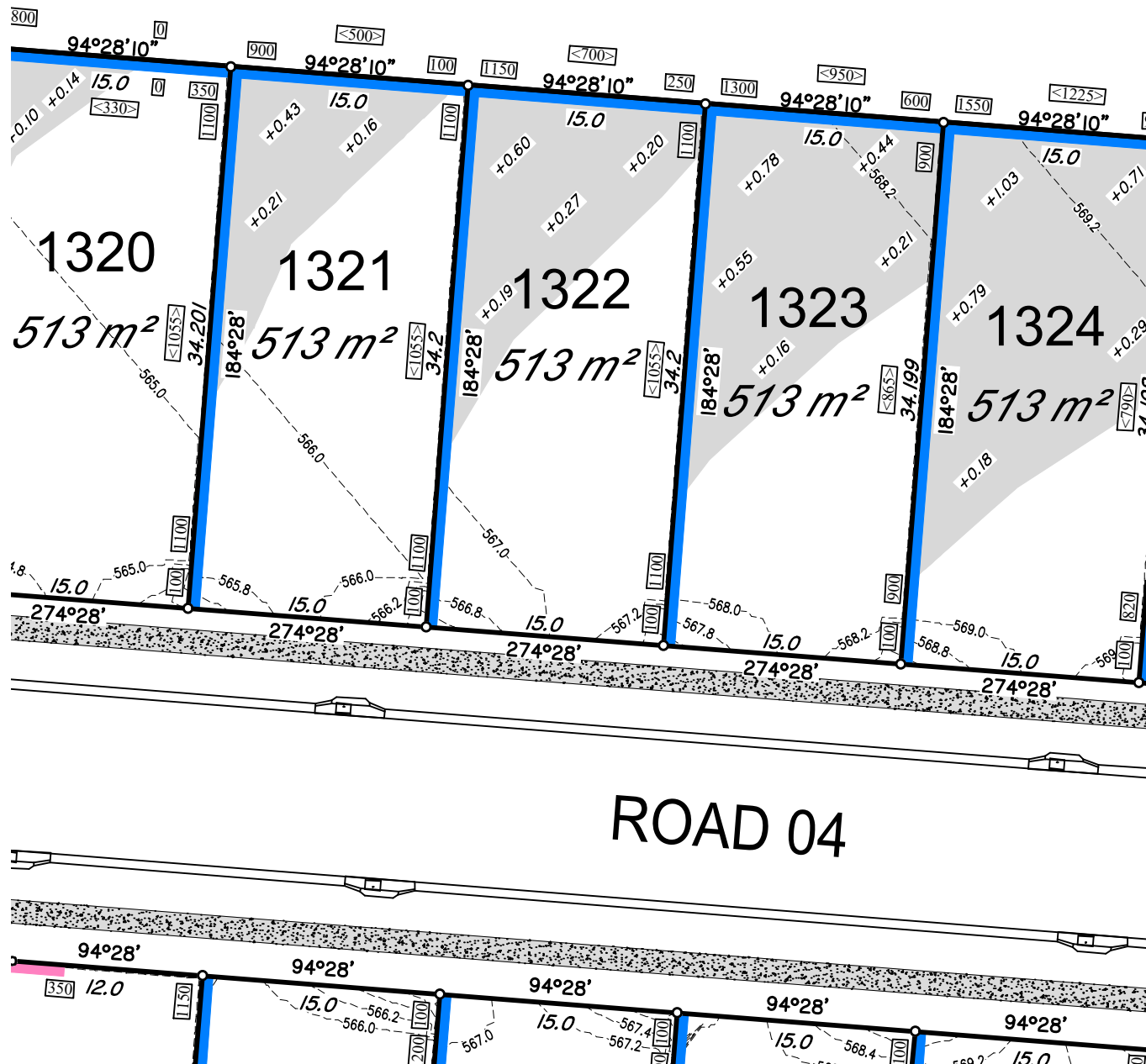
Stephen M. Hanz 23/03/2026
Cadastral Surveyor Date

DATUM	A.H.D.D.	
LEVEL ORIGIN	TOPNET AllDayRTK	
SCALES	AS SHOWN	
DRAWN	SCM	DATE 23/03/2026
CHECKED	SCM	DATE 23/03/2026
PLAN NUMBER	15146-DP- 1320	

PROPOSED LOT 1322

BOTANIC
HIGHFIELDS

Balance Lot
4001



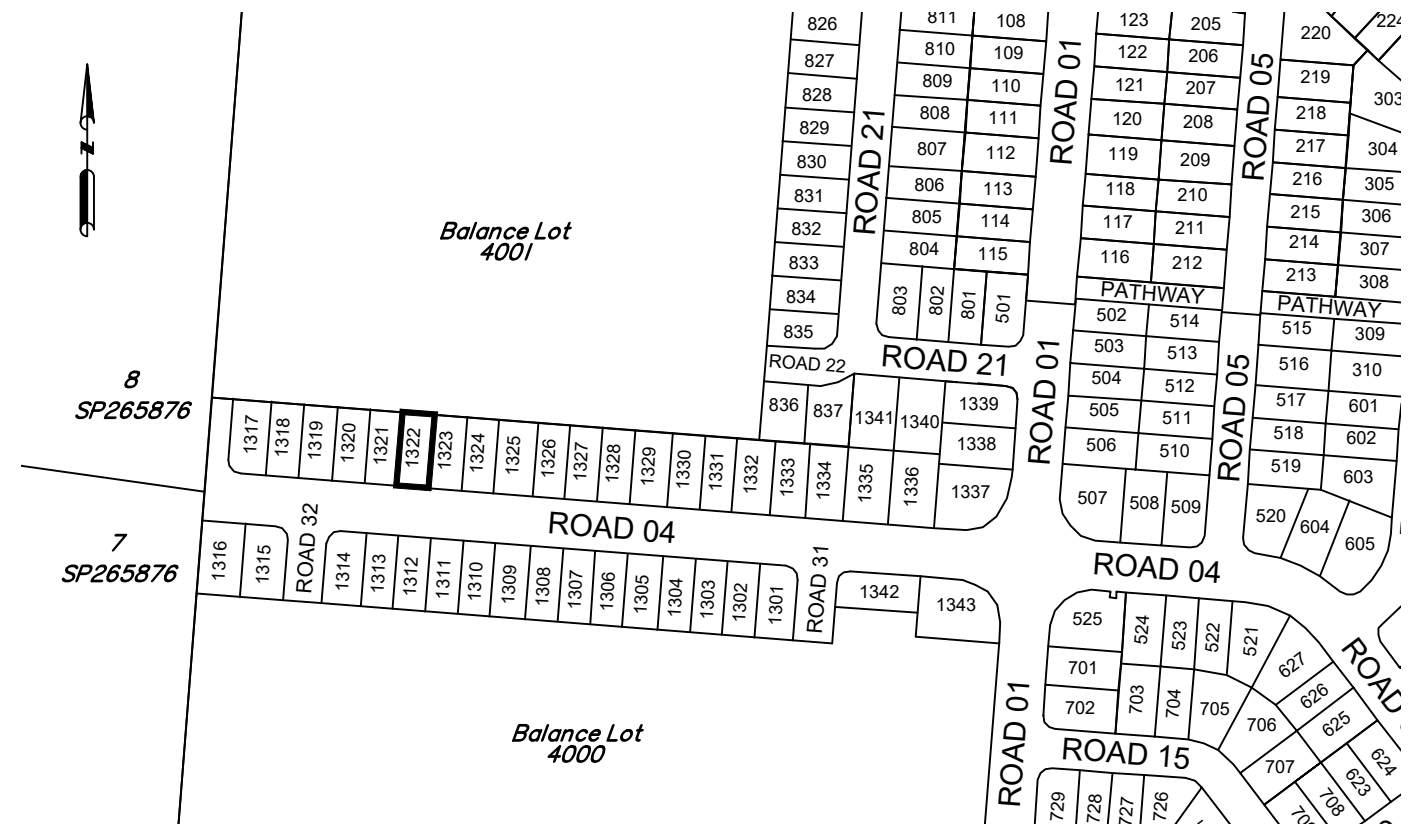
ROAD 04

SCALE 1: 400 (A3)



15146-DP- 1322

LOCALITY PLAN



SCALE 1: 3500 (A3)



DISCLOSURE PLAN
FOR PROPOSED LOT 1322

This plan shows details of proposed Lot 1322 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 (now Lot 1000 on SP346978), located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

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LEGEND-NOTATIONS

- Indicates areas of fill and fill depths (metres)
 - Conc. Sleeper Ret'g Wall
 - Feature Sandstone Ret'g Wall
 - Ret'g Wall Heights (mm)
 - Average Wall Heights (mm)
 - Concrete Path/Driveway
 - Gully Inlet Pit
 - Lot Boundary
 - New EMT Bdy
 - Design Contours
- Contour Interval is 0.2 metre

Project: *Botanic Highfields*

Client: Bird in Hand 3 Pty Ltd

LOCALITY: WOOLMER
Local Authority: TOOWOOMBA R.C.

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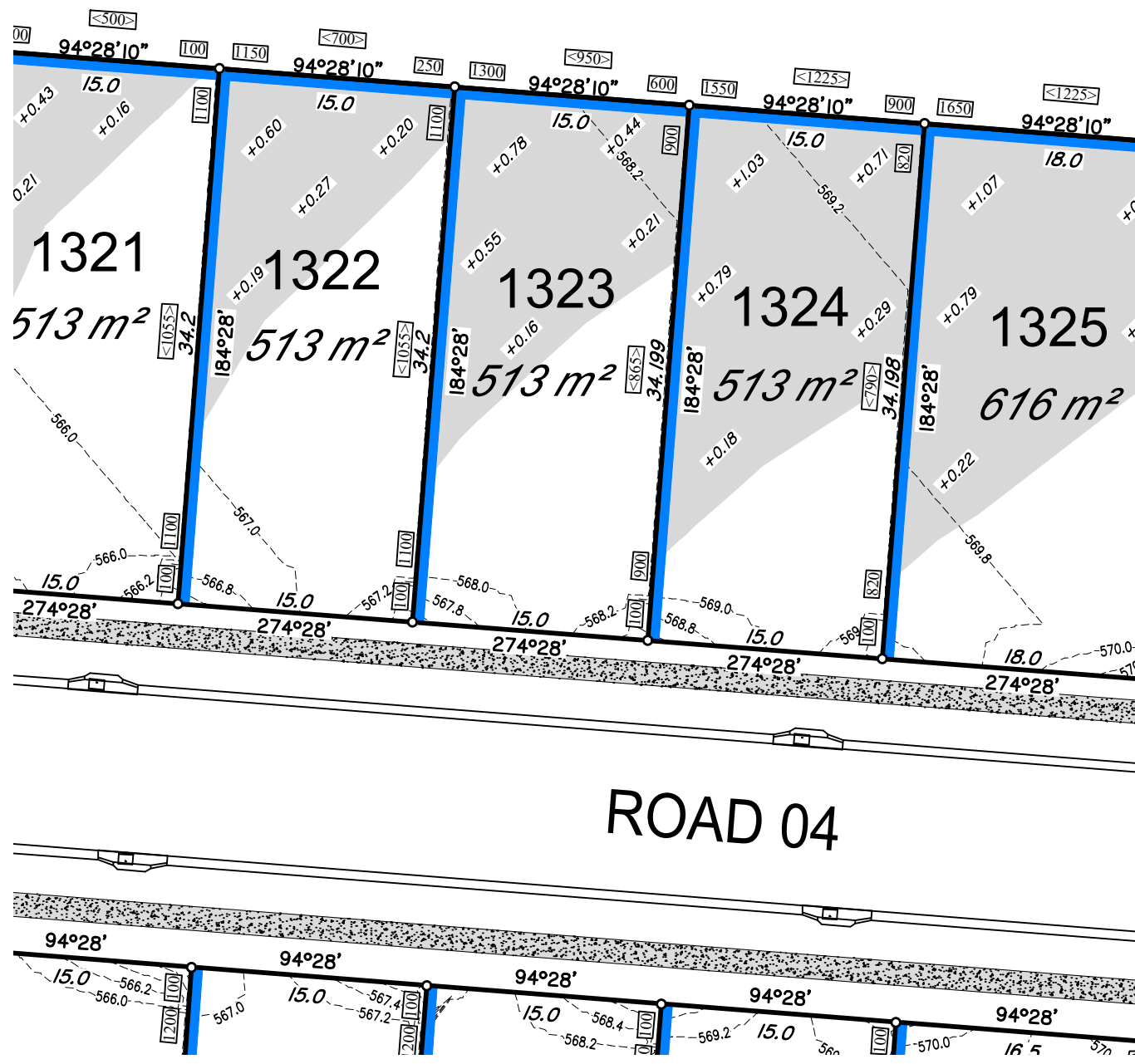
Stephen M. Hanz 23/03/2026
.....
Cadastral Surveyor Date

DATUM	A.H.D.D.	
LEVEL ORIGIN	TOPNET AllDayRTK	
SCALES	AS SHOWN	
DRAWN	SCM	DATE 23/03/2026
CHECKED	SCM	DATE 23/03/2026
PLAN NUMBER	15146-DP- 1322	

PROPOSED LOT 1323

BOTANIC
HIGHFIELDS

Balance Lot
4001



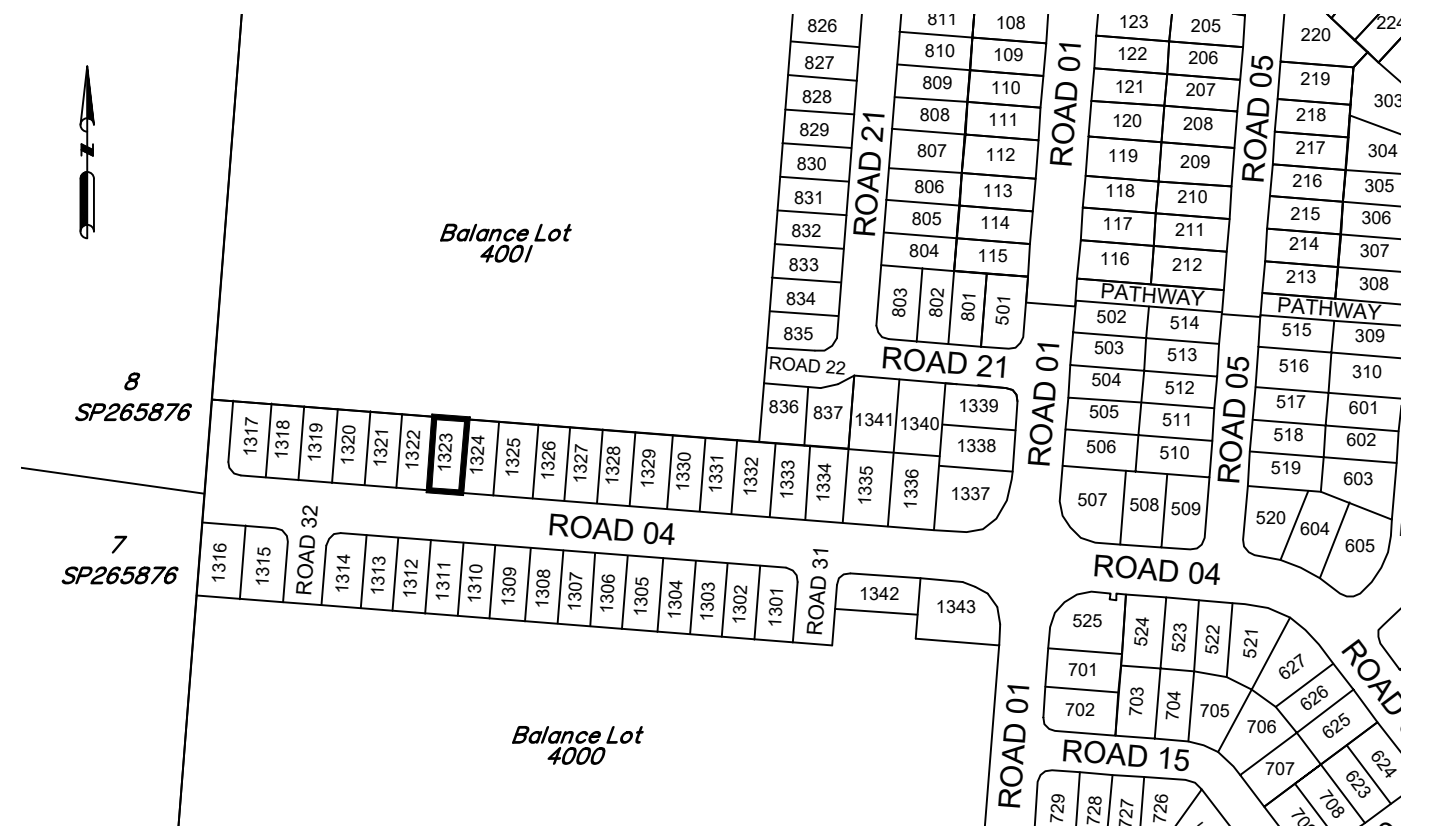
ROAD 04

SCALE 1: 400 (A3)



15146-DP- 1323

LOCALITY PLAN



SCALE 1: 3500 (A3)



DISCLOSURE PLAN
FOR PROPOSED LOT 1323

This plan shows details of proposed Lot 1323 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 (now Lot 1000 on SP346978), located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

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LEGEND-NOTATIONS

- Indicates areas of fill and fill depths (metres)
 - Conc. Sleeper Ret'g Wall
 - Feature Sandstone Ret'g Wall
 - Ret'g Wall Heights (mm)
 - Average Wall Heights (mm)
 - Concrete Path/Driveway
 - Gully Inlet Pit
 - Lot Boundary
 - New EMT Bdy
 - Design Contours
- Contour Interval is 0.2 metre

Project: *Botanic Highfields*
Client: Bird in Hand 3 Pty Ltd
LOCALITY: WOOLMER
Local Authority: TOOWOOMBA R.C.

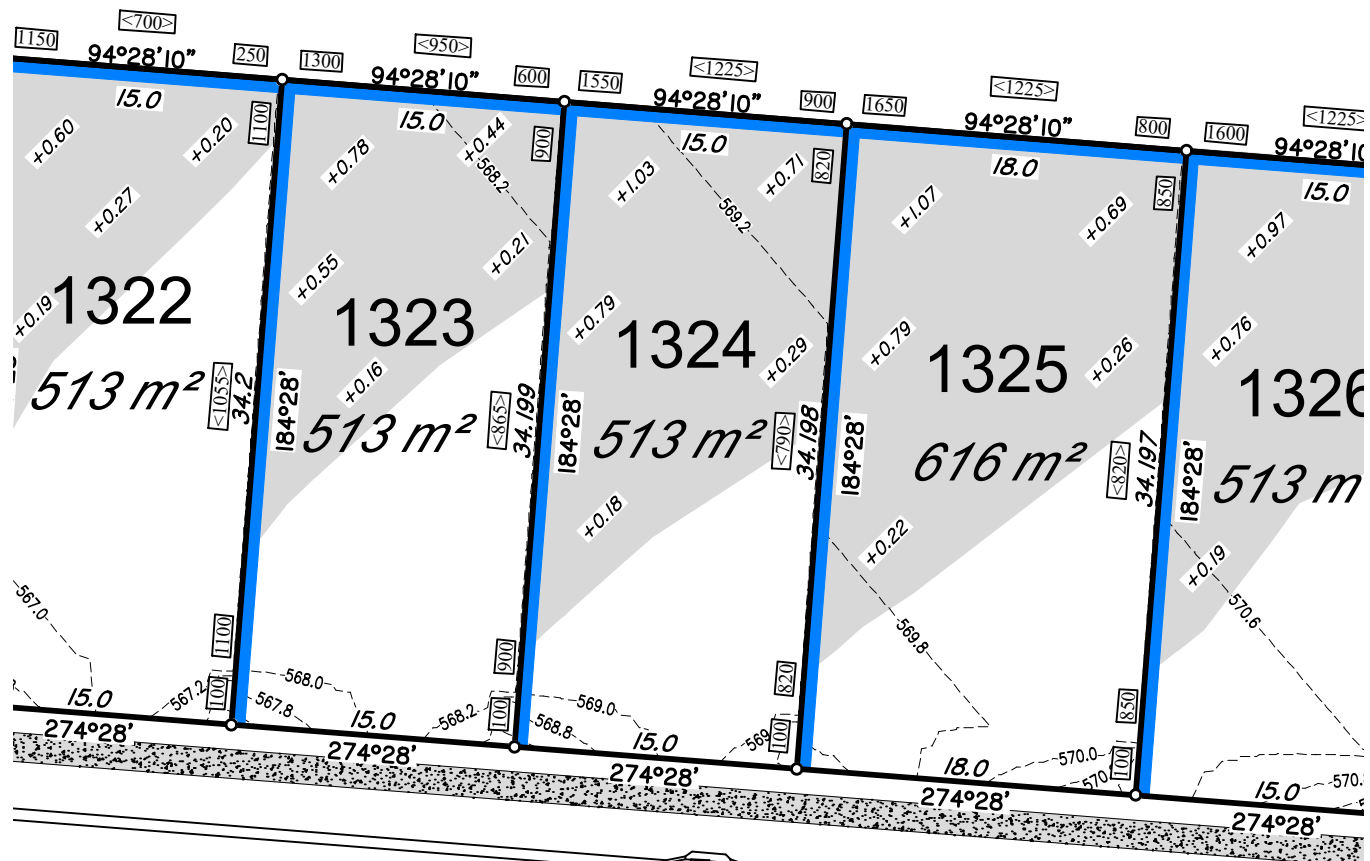
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CONSULTING SURVEYORS
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A.C.N. 604 671 123
(07) 46323244, mail@parkinsonsurveys.com.au
Stephen M. Hanz 23/03/2026
Cadastral Surveyor Date

DATUM	A.H.D.D.	
LEVEL ORIGIN	TOPNET AllDayRTK	
SCALES	AS SHOWN	
DRAWN	SCM	DATE 23/03/2026
CHECKED	SCM	DATE 23/03/2026
PLAN NUMBER	15146-DP- 1323	

PROPOSED LOT 1324

BOTANIC
HIGHFIELDS

Balance Lot
4001



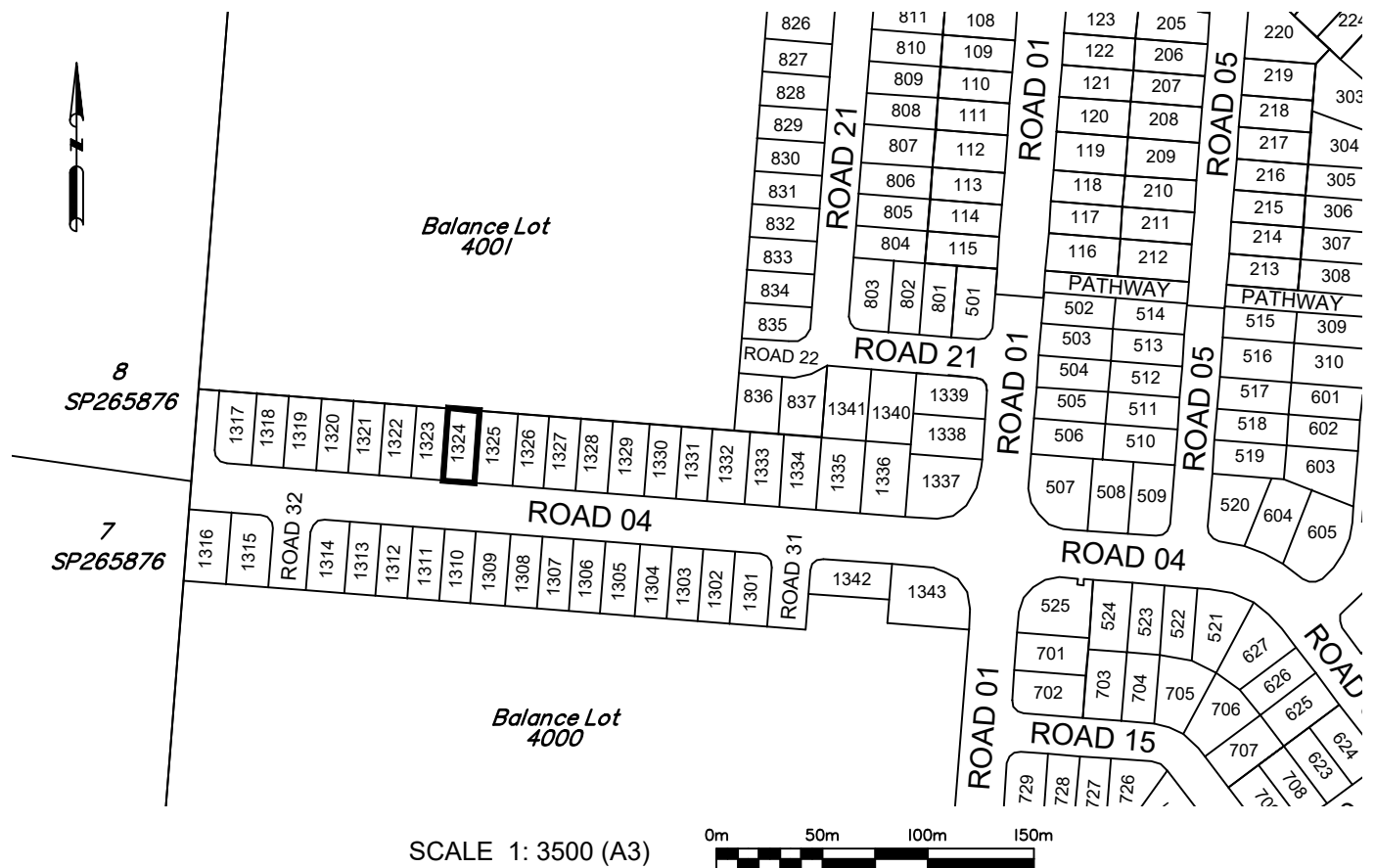
ROAD 04

SCALE 1: 400 (A3)



15146-DP- 1324

LOCALITY PLAN



SCALE 1: 3500 (A3)



DISCLOSURE PLAN
FOR PROPOSED LOT 1324

This plan shows details of proposed Lot 1324 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 (now Lot 1000 on SP346978), located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

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LEGEND-NOTATIONS

- Indicates areas of fill and fill depths (metres)
- Conc. Sleeper Ret'g Wall
- Feature Sandstone Ret'g Wall
- Ret'g Wall Heights (mm)
- Average Wall Heights (mm)
- Concrete Path/Driveway
- Gully Inlet Pit
- Lot Boundary
- New EMT Bdy
- Design Contours
Contour Interval is 0.2 metre

Project: *Botanic Highfields*

Client: Bird in Hand 3 Pty Ltd

LOCALITY: WOOLMER
Local Authority: TOOWOOMBA R.C.

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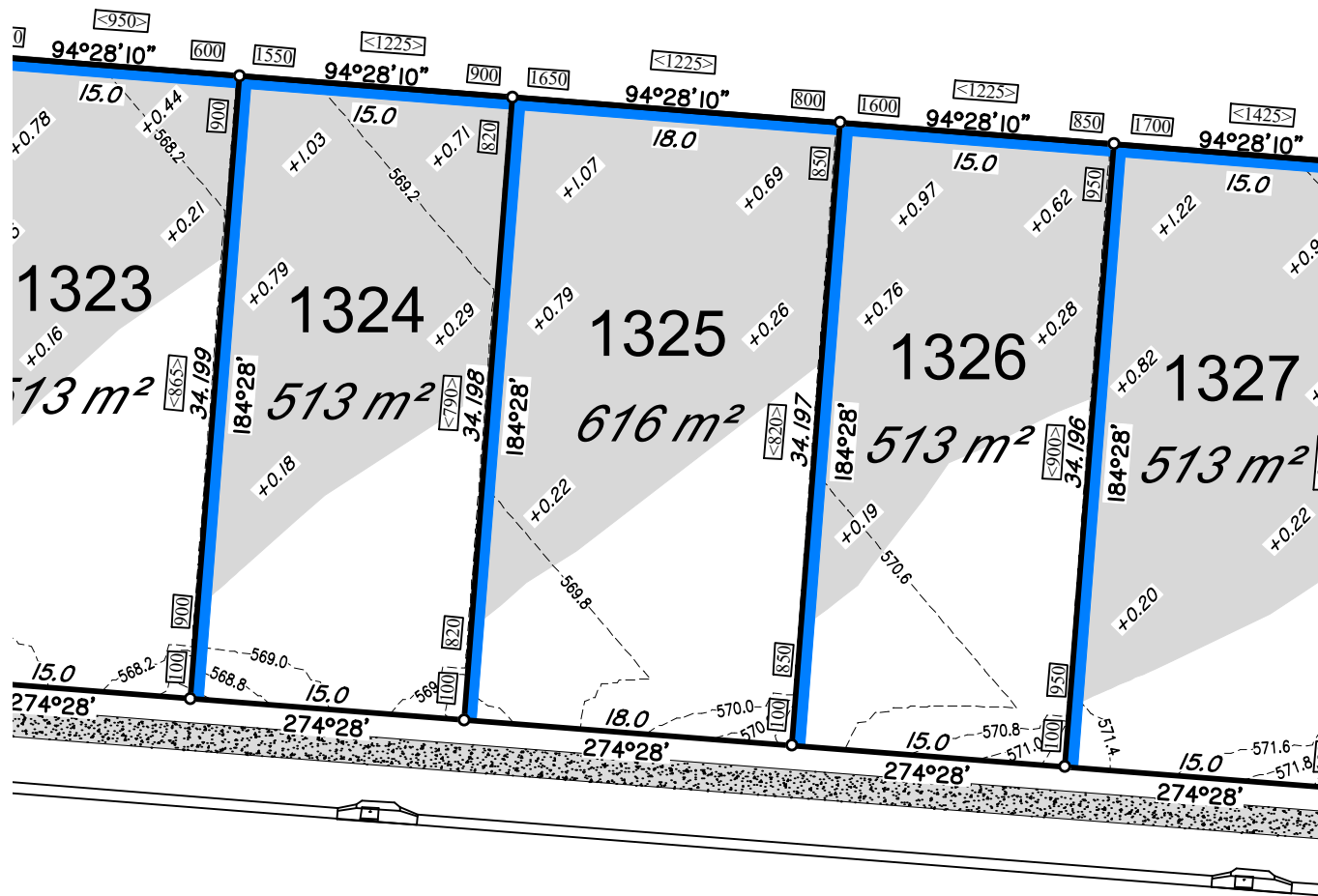
Stephen M. Hanz
Cadastral Surveyor
23/03/2026
Date

DATUM	A.H.D.D.	
LEVEL ORIGIN	TOPNET AllDayRTK	
SCALES	AS SHOWN	
DRAWN	SCM	DATE 23/03/2026
CHECKED	SCM	DATE 23/03/2026
PLAN NUMBER	15146-DP- 1324	

PROPOSED LOT 1325

BOTANIC
HIGHFIELDS

Balance Lot
4001



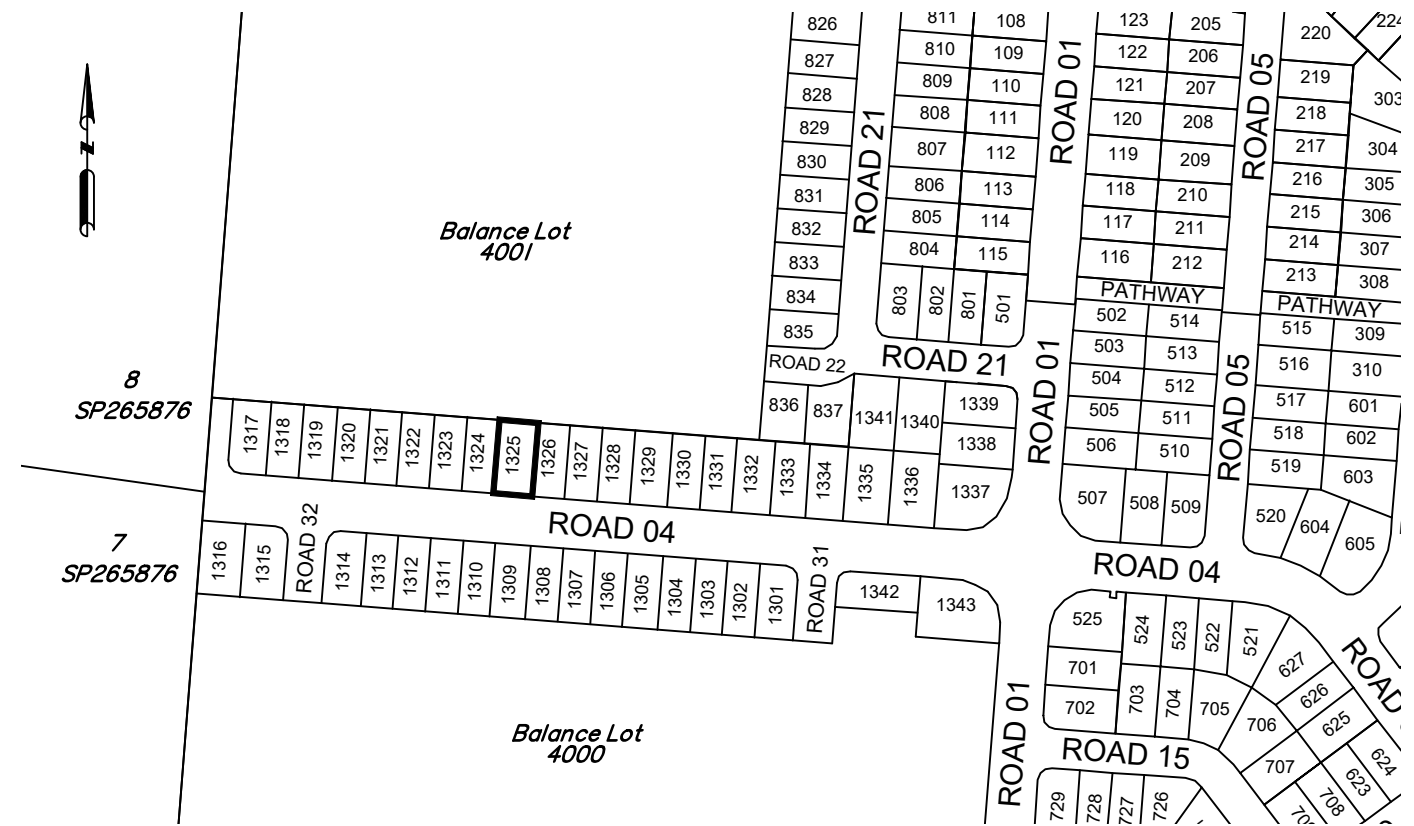
ROAD 04

SCALE 1: 400 (A3)



15146-DP- 1325

LOCALITY PLAN



SCALE 1: 3500 (A3)



DISCLOSURE PLAN
FOR PROPOSED LOT 1325

This plan shows details of proposed Lot 1325 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 (now Lot 1000 on SP346978), located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

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LEGEND-NOTATIONS

- +0.41 Indicates areas of fill and fill depths (metres)
 - Conc. Sleeper Ret'g Wall
 - Feature Sandstone Ret'g Wall
 - Ret'g Wall Heights (mm)
 - Average Wall Heights (mm)
 - Concrete Path/Driveway
 - Gully Inlet Pit
 - Lot Boundary
 - New EMT Bdy
 - Design Contours
- Contour Interval is 0.2 metre

Project: *Botanic Highfields*

Client: Bird in Hand 3 Pty Ltd

LOCALITY: WOOLMER
Local Authority: TOOWOOMBA R.C.

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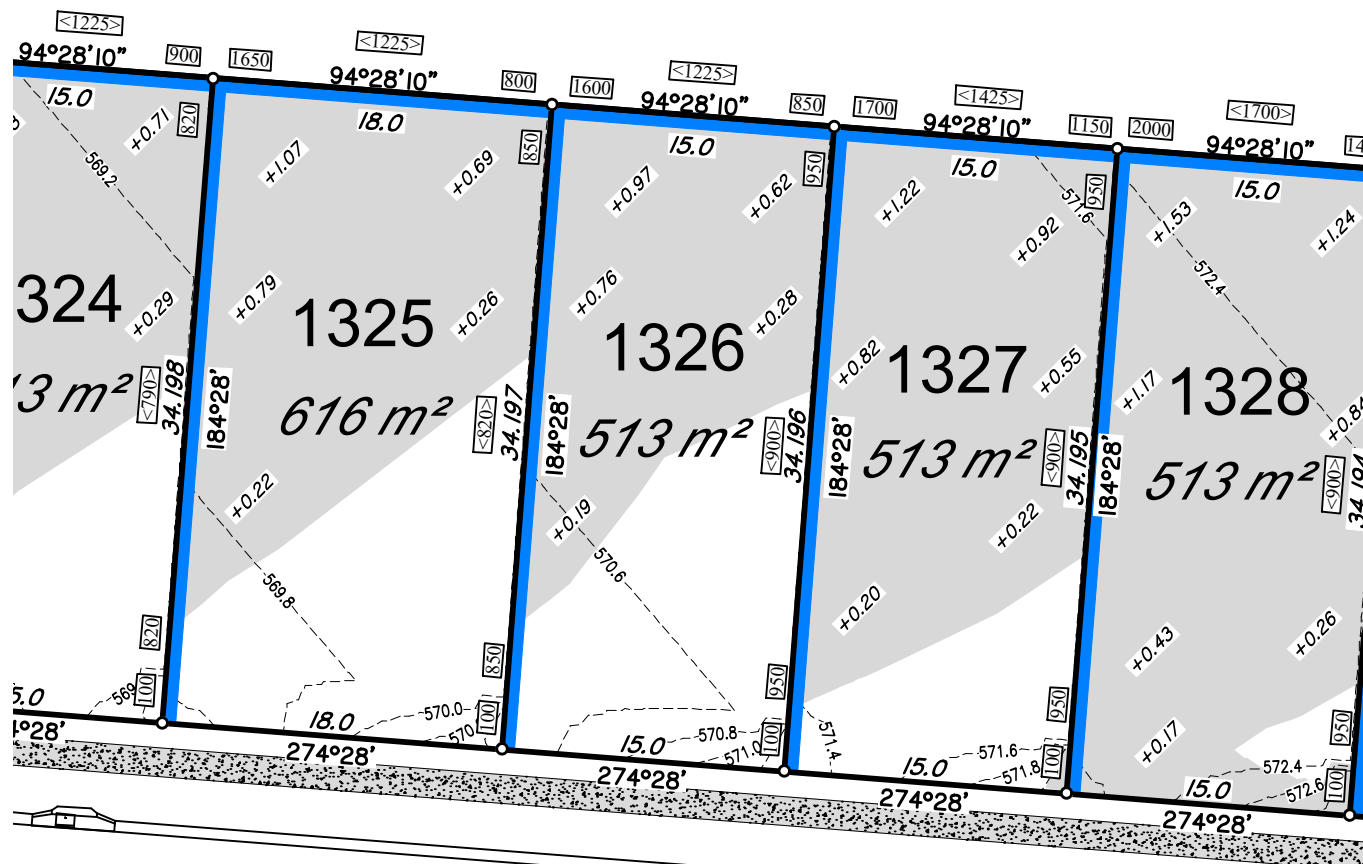
Stephen M. Hanz 23/03/2026
.....
Cadastral Surveyor Date

DATUM	A.H.D.D.	
LEVEL ORIGIN	TOPNET AllDayRTK	
SCALES	AS SHOWN	
DRAWN	SCM	DATE 23/03/2026
CHECKED	SCM	DATE 23/03/2026
PLAN NUMBER	15146-DP- 1325	

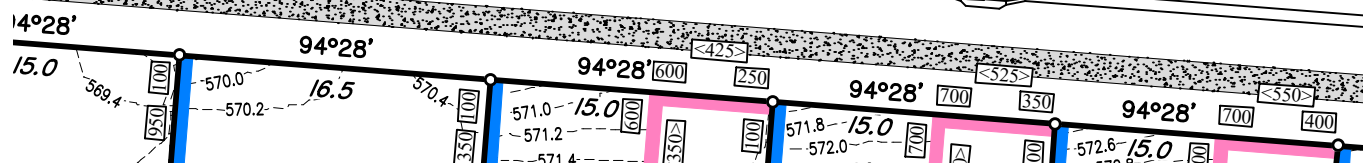
PROPOSED LOT 1326

BOTANIC
HIGHFIELDS

Balance Lot
4001



ROAD 04

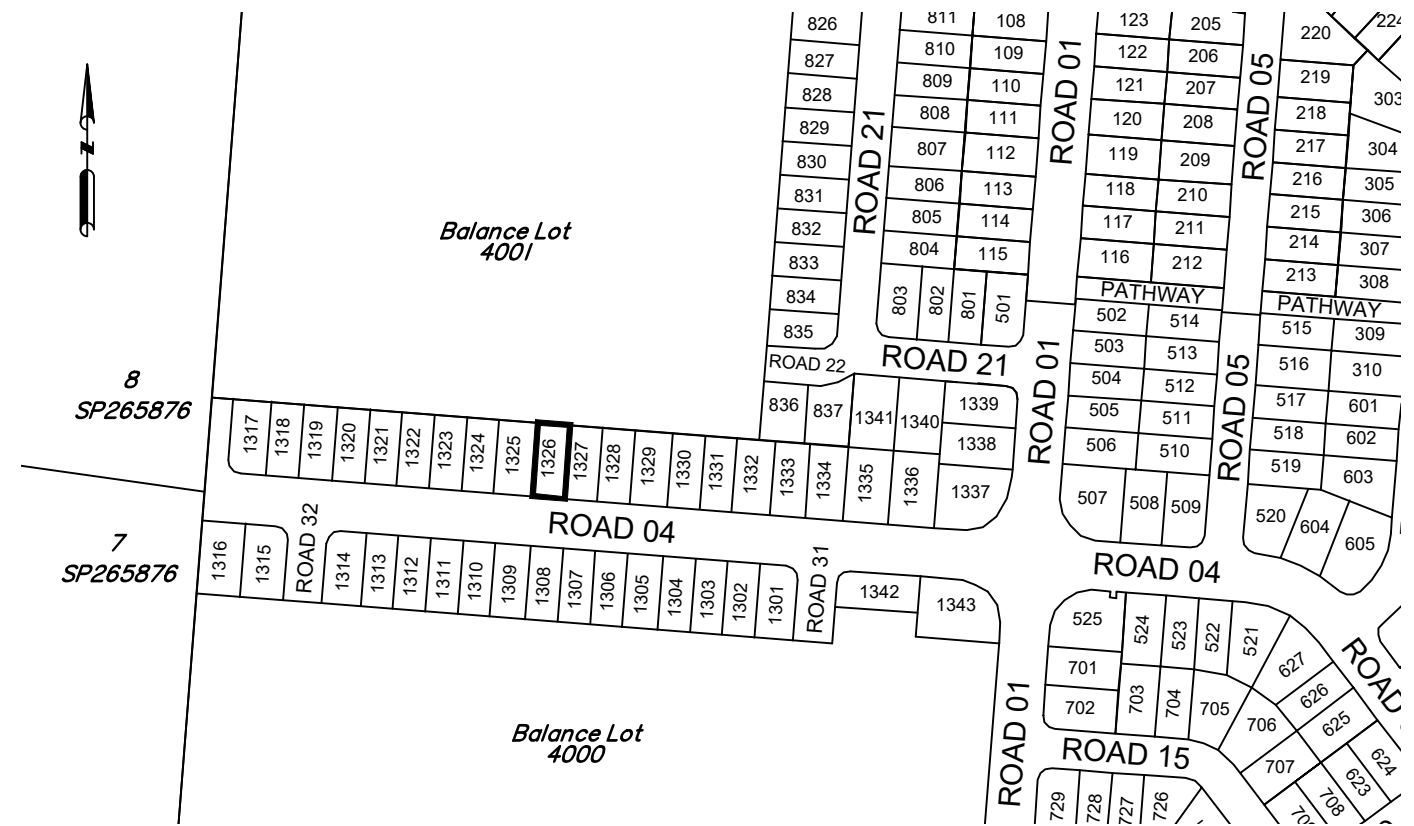


SCALE 1: 400 (A3)



15146-DP- 1326

LOCALITY PLAN



SCALE 1: 3500 (A3)



DISCLOSURE PLAN
FOR PROPOSED LOT 1326

This plan shows details of proposed Lot 1326 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 (now Lot 1000 on SP346978), located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

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LEGEND-NOTATIONS

- Indicates areas of fill and fill depths (metres)
- Conc. Sleeper Ret'g Wall
- Feature Sandstone Ret'g Wall
- Ret'g Wall Heights (mm)
- Average Wall Heights (mm)
- Concrete Path/Driveway
- Gully Inlet Pit
- Lot Boundary
- New EMT Bdy
- Design Contours
Contour Interval is 0.2 metre

Project: *Botanic Highfields*

Client: Bird in Hand 3 Pty Ltd

LOCALITY: WOOLMER
Local Authority: TOOWOOMBA R.C.

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Stephen M. Hanz 23/03/2026
Cadastral Surveyor Date

DATUM	A.H.D.D.	
LEVEL ORIGIN	TOPNET AllDayRTK	
SCALES	AS SHOWN	
DRAWN	SCM	DATE 23/03/2026
CHECKED	SCM	DATE 23/03/2026
PLAN NUMBER	15146-DP- 1326	

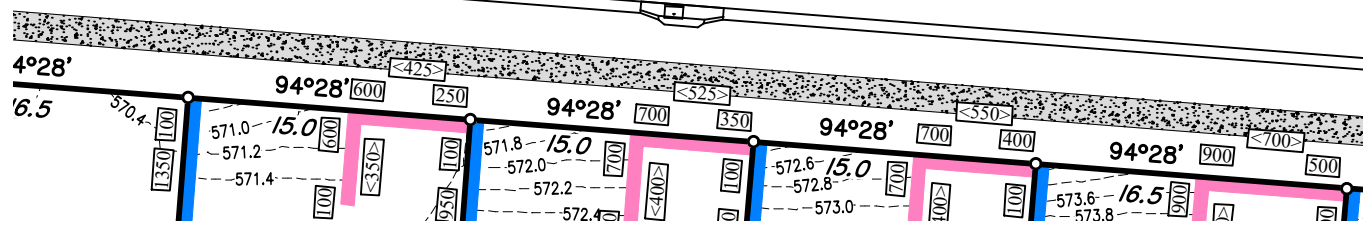
PROPOSED LOT 1327

BOTANIC
HIGHFIELDS

Balance Lot
4001



ROAD 04

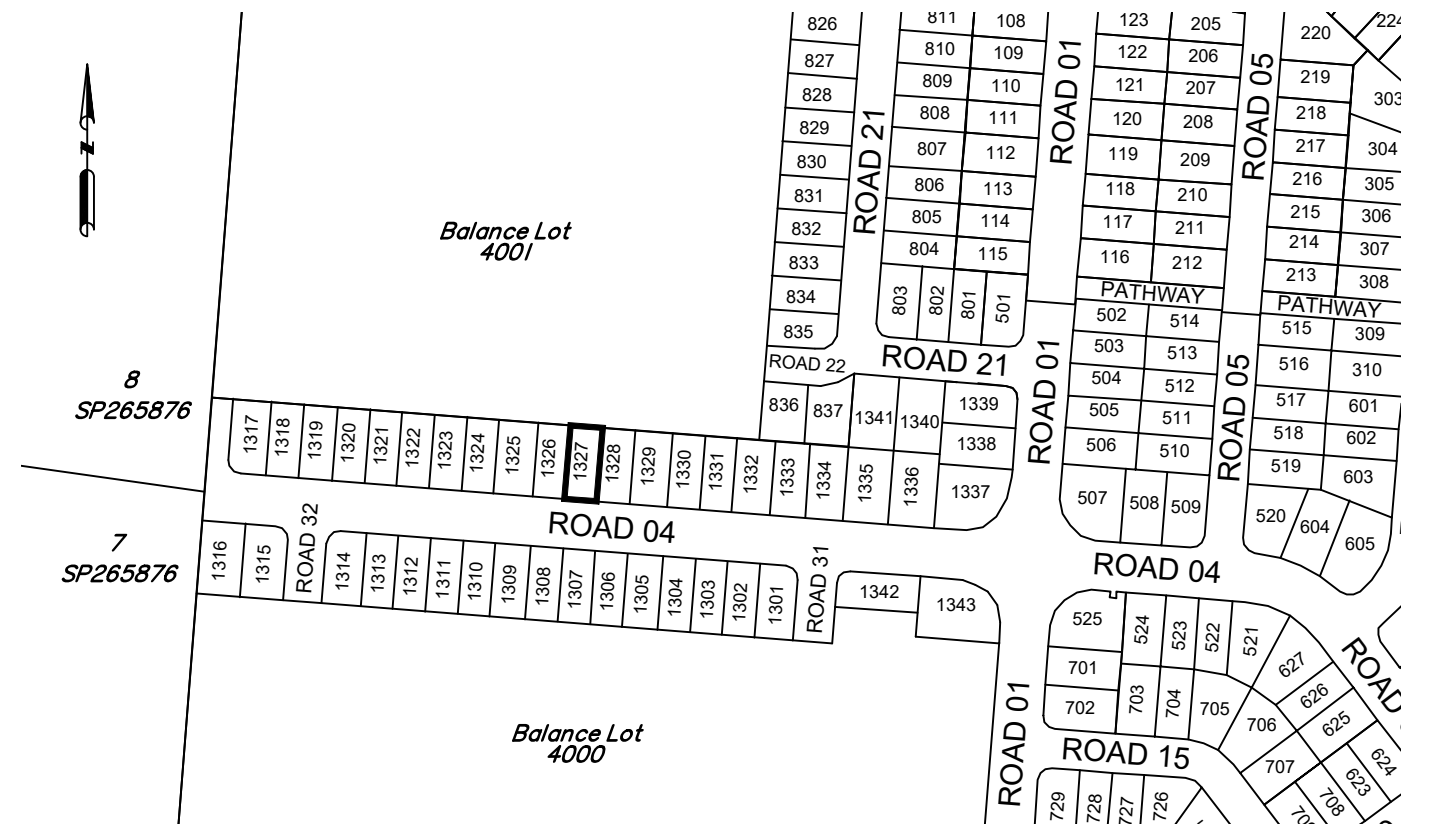


SCALE 1: 400 (A3)



15146-DP- 1327

LOCALITY PLAN



SCALE 1: 3500 (A3)



DISCLOSURE PLAN
FOR PROPOSED LOT 1327

This plan shows details of proposed Lot 1327 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 (now Lot 1000 on SP346978), located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

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LEGEND-NOTATIONS

- +0.41 Indicates areas of fill and fill depths (metres)
 - Conc. Sleeper Ret'g Wall
 - Feature Sandstone Ret'g Wall
 - Ret'g Wall Heights (mm)
 - Average Wall Heights (mm)
 - Concrete Path/Driveway
 - Gully Inlet Pit
 - Lot Boundary
 - New EMT Bdy
 - Design Contours
- Contour Interval is 0.2 metre

Project: *Botanic Highfields*

Client: Bird in Hand 3 Pty Ltd

LOCALITY: WOOLMER
Local Authority: TOOWOOMBA R.C.

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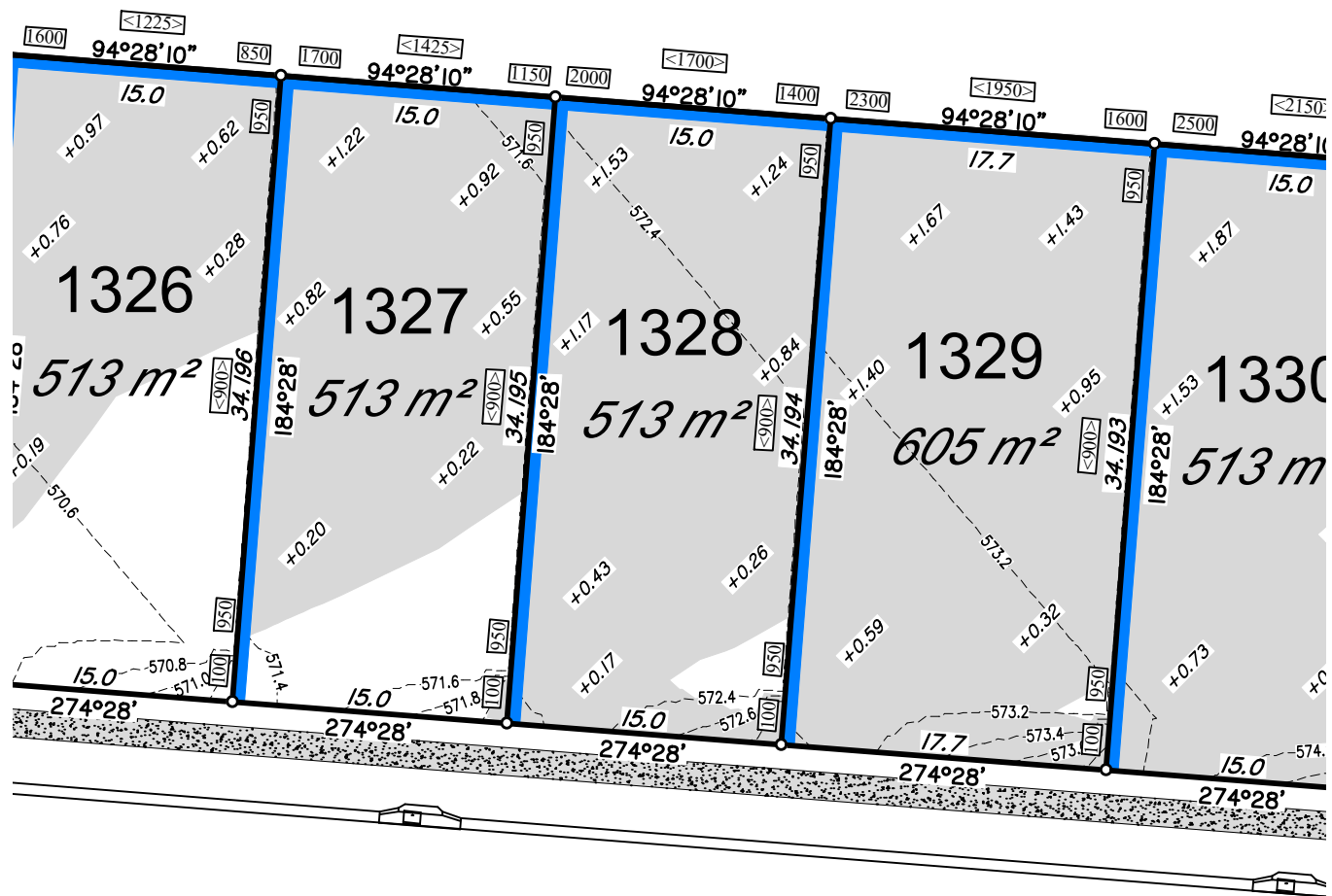
Stephen M. Hanz
Cadastral Surveyor
23/03/2026
Date

DATUM	A.H.D.D.	
LEVEL ORIGIN	TOPNET AllDayRTK	
SCALES	AS SHOWN	
DRAWN	SCM	DATE 23/03/2026
CHECKED	SCM	DATE 23/03/2026
PLAN NUMBER	15146-DP- 1327	

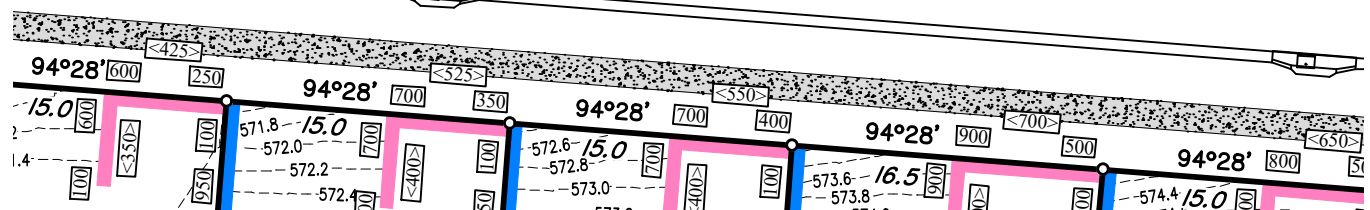
PROPOSED LOT 1328

BOTANIC
HIGHFIELDS

Balance Lot
4001



ROAD 04

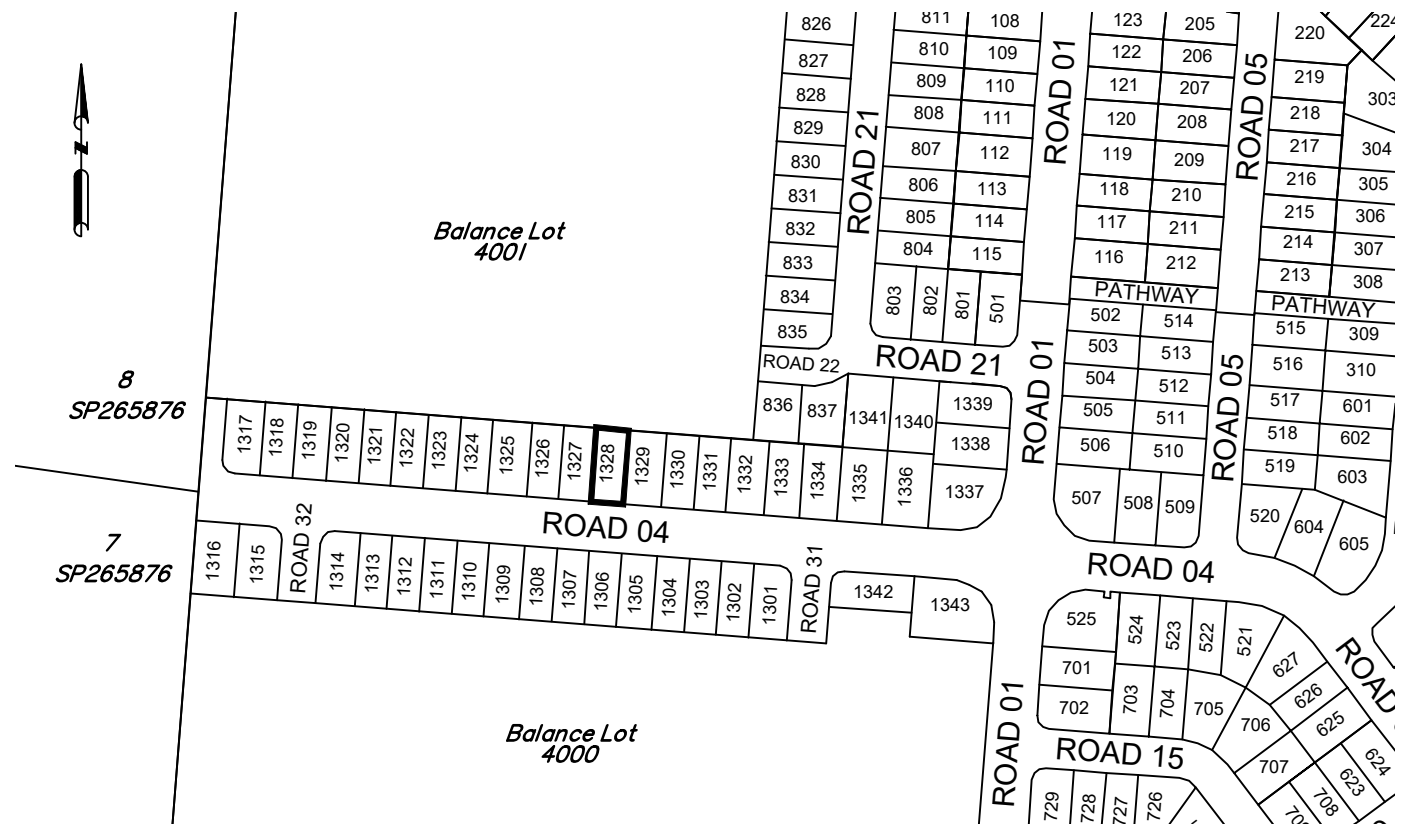


SCALE 1: 400 (A3)



15146-DP- 1328

LOCALITY PLAN



SCALE 1: 3500 (A3)



DISCLOSURE PLAN
FOR PROPOSED LOT 1328

This plan shows details of proposed Lot 1328 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 (now Lot 1000 on SP346978), located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

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LEGEND-NOTATIONS

- Indicates areas of fill and fill depths (metres)
- Conc. Sleeper Ret'g Wall
- Feature Sandstone Ret'g Wall
- Ret'g Wall Heights (mm)
- Average Wall Heights (mm)
- Concrete Path/Driveway
- Gully Inlet Pit
- Lot Boundary
- New EMT Bdy
- Design Contours
Contour Interval is 0.2 metre

Project: *Botanic Highfields*

Client: Bird in Hand 3 Pty Ltd

LOCALITY: WOOLMER
Local Authority: TOOWOOMBA R.C.

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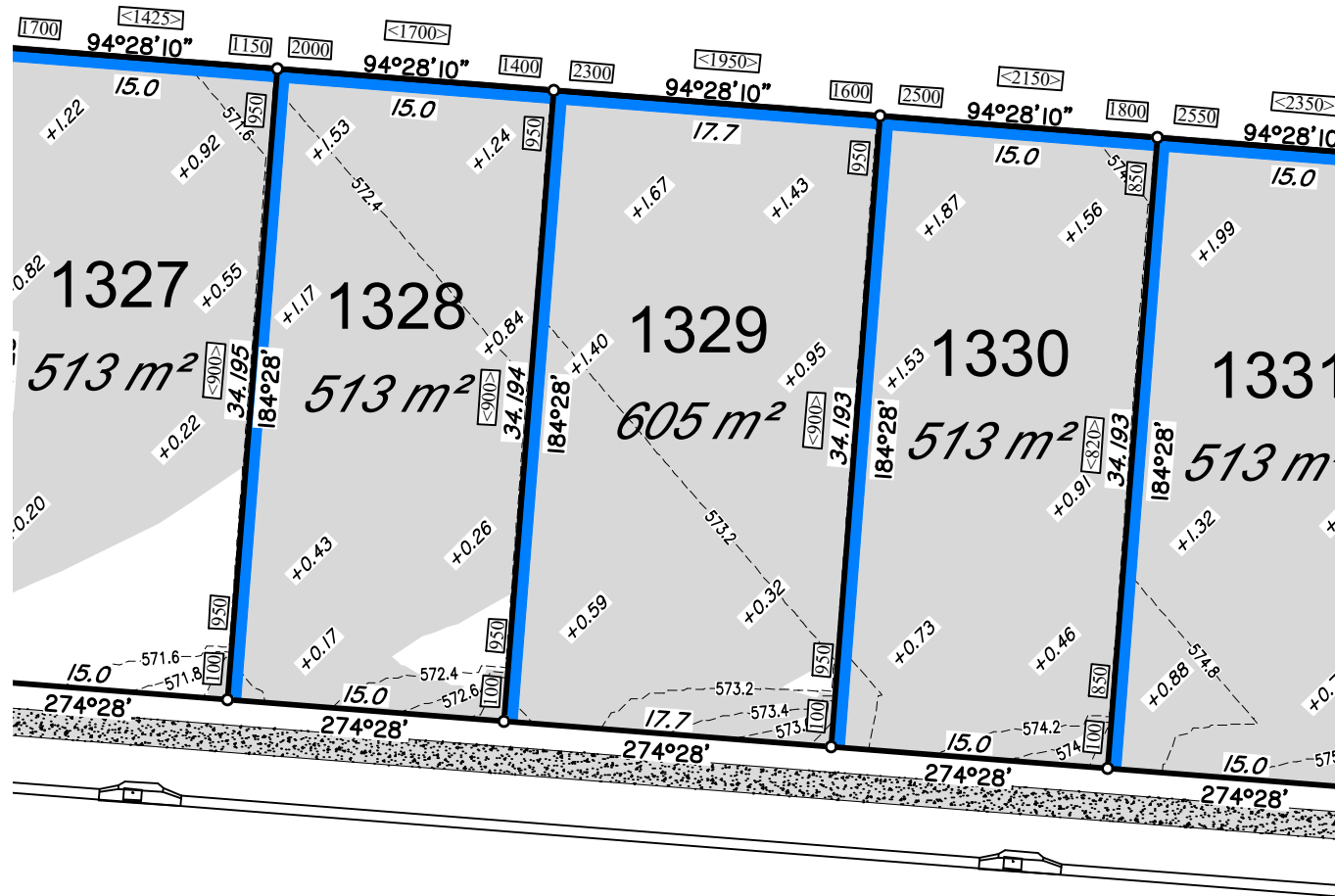
Stephen M. Hanz
Cadastral Surveyor
23/03/2026
Date

DATUM	A.H.D.D.	
LEVEL ORIGIN	TOPNET AllDayRTK	
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DRAWN	SCM	DATE 23/03/2026
CHECKED	SCM	DATE 23/03/2026
PLAN NUMBER	15146-DP- 1328	

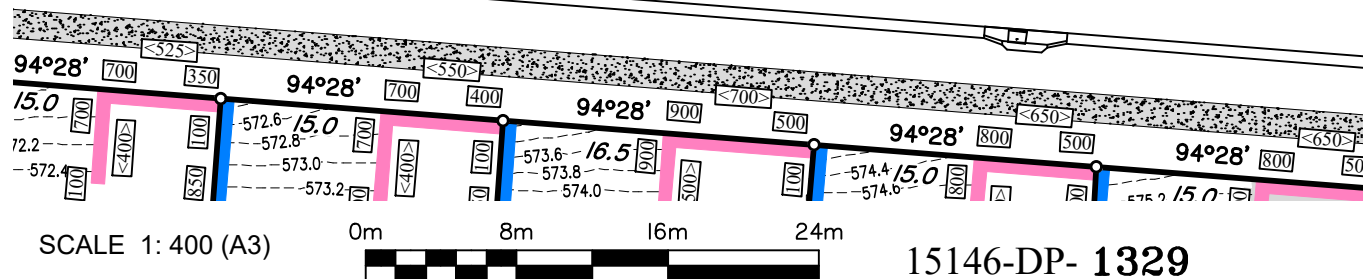
PROPOSED LOT 1329

BOTANIC
HIGHFIELDS

Balance Lot
4001



ROAD 04

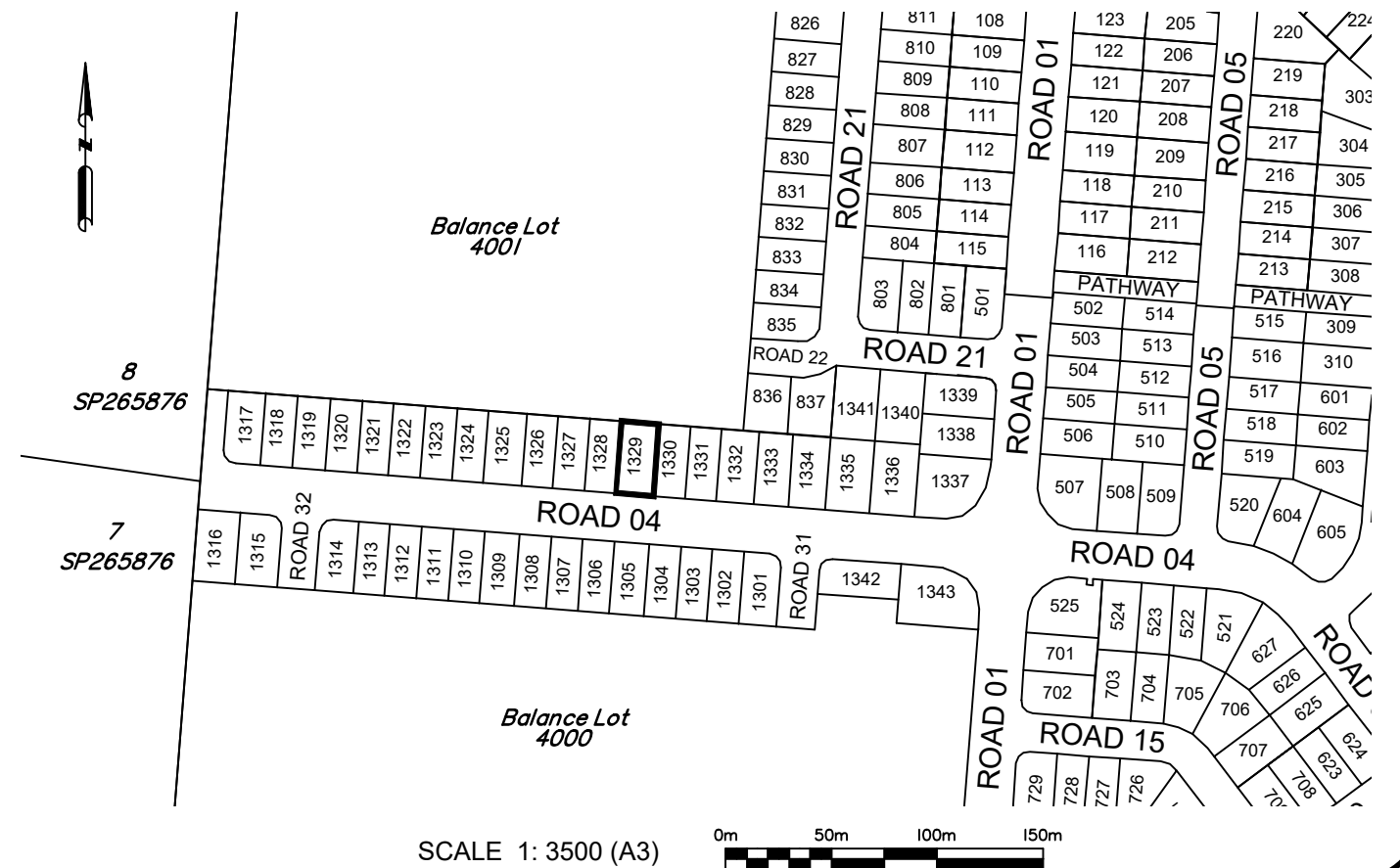


SCALE 1: 400 (A3)



15146-DP- 1329

LOCALITY PLAN



SCALE 1: 3500 (A3)



**DISCLOSURE PLAN
FOR PROPOSED LOT 1329**

This plan shows details of proposed Lot 1329 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 (now Lot 1000 on SP346978), located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

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LEGEND-NOTATIONS

- +0.41 Indicates areas of fill and fill depths (metres)
 - Conc. Sleeper Ret'g Wall
 - Feature Sandstone Ret'g Wall
 - Ret'g Wall Heights (mm)
 - Average Wall Heights (mm)
 - Concrete Path/Driveway
 - Gully Inlet Pit
 - Lot Boundary
 - New EMT Bdy
 - Design Contours
- Contour Interval is 0.2 metre

Project: *Botanic Highfields*

Client: Bird in Hand 3 Pty Ltd

LOCALITY: WOOLMER
Local Authority: TOOWOOMBA R.C.

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Stephen M. Hanz 23/03/2026
Cadastral Surveyor Date

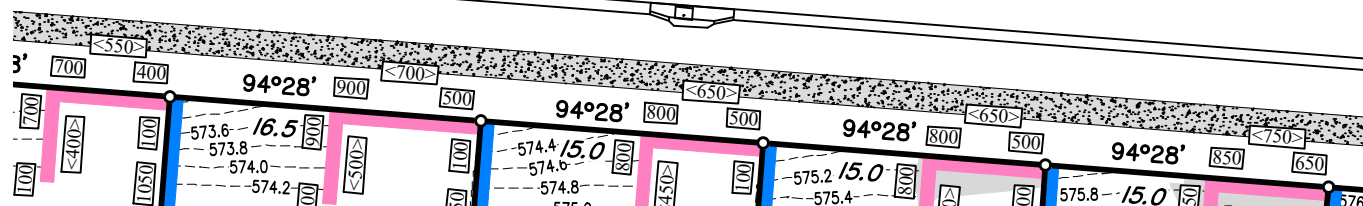
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SCALES	AS SHOWN	
DRAWN	SCM	DATE 23/03/2026
CHECKED	SCM	DATE 23/03/2026
PLAN NUMBER	15146-DP- 1329	

PROPOSED LOT 1330

BOTANIC
HIGHFIELDS



ROAD 04

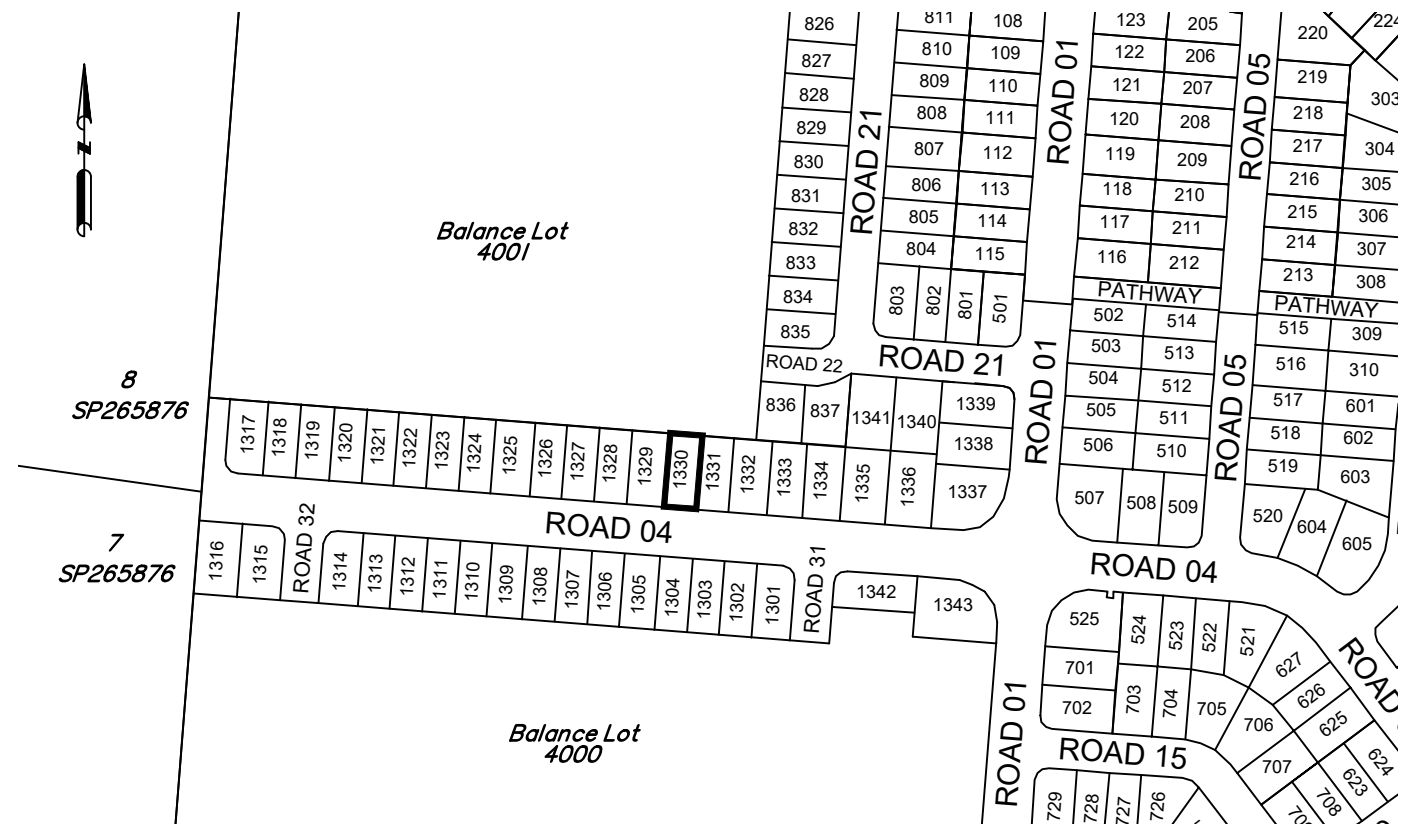


SCALE 1: 400 (A3)



15146-DP- 1330

LOCALITY PLAN



SCALE 1: 3500 (A3)



DISCLOSURE PLAN
FOR PROPOSED LOT 1330

This plan shows details of proposed Lot 1330 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 (now Lot 1000 on SP346978), located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

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- Ret'g Wall Heights (mm)
- Average Wall Heights (mm)
- Concrete Path/Driveway
- Gully Inlet Pit
- Lot Boundary
- New EMT Bdy
- Design Contours
Contour Interval is 0.2 metre

Project: *Botanic Highfields*

Client: Bird in Hand 3 Pty Ltd

LOCALITY: WOOLMER
Local Authority: TOOWOOMBA R.C.

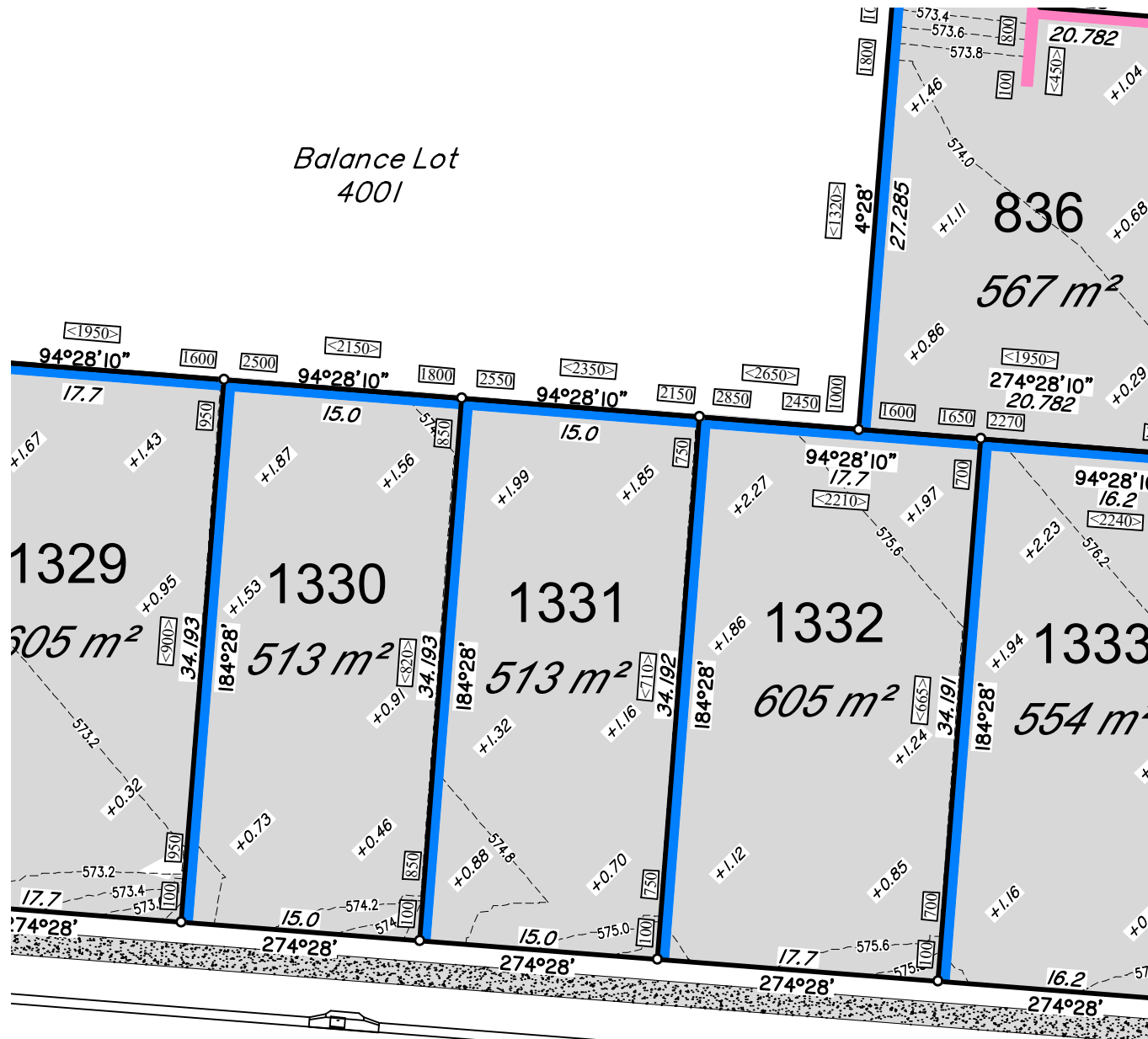
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Stephen M. Hanz
Cadastral Surveyor
23/03/2026
Date

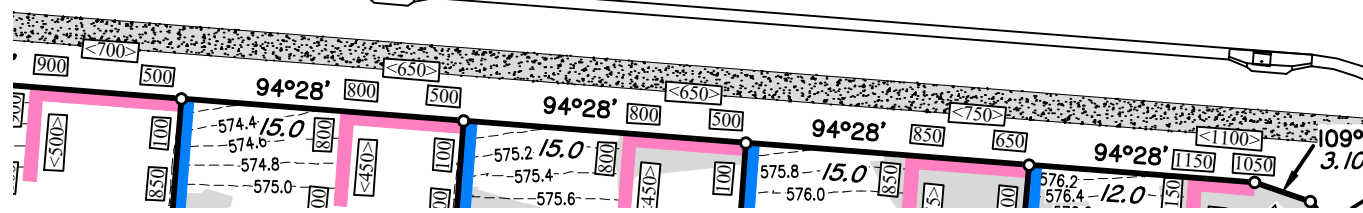
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SCALES	AS SHOWN	
DRAWN	SCM	DATE 23/03/2026
CHECKED	SCM	DATE 23/03/2026
PLAN NUMBER	15146-DP- 1330	

PROPOSED LOT 1331

BOTANIC HIGHFIELDS



ROAD 04

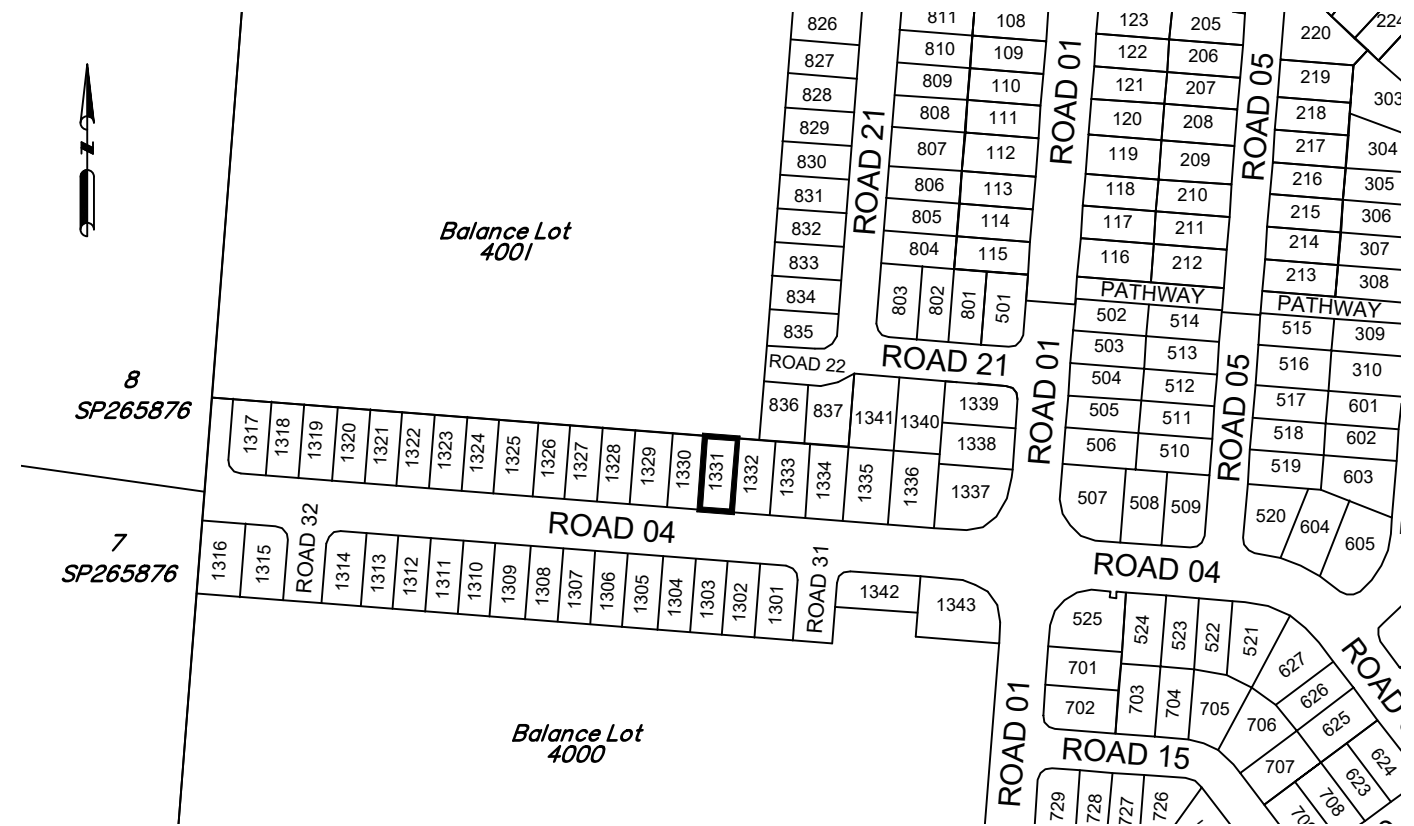


SCALE 1: 400 (A3)



15146-DP- 1331

LOCALITY PLAN



SCALE 1: 3500 (A3)



DISCLOSURE PLAN FOR PROPOSED LOT 1331

This plan shows details of proposed Lot 1331 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 (now Lot 1000 on SP346978), located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

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LEGEND-NOTATIONS

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 - Conc. Sleeper Ret'g Wall
 - Feature Sandstone Ret'g Wall
 - Ret'g Wall Heights (mm)
 - Average Wall Heights (mm)
 - Concrete Path/Driveway
 - Gully Inlet Pit
 - Lot Boundary
 - New EMT Bdy
 - Design Contours
- Contour Interval is 0.2 metre

Project: *Botanic Highfields*

Client: Bird in Hand 3 Pty Ltd

LOCALITY: WOOLMER
Local Authority: TOOWOOMBA R.C.

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Stephen M. Hanz
Cadastral Surveyor
23/03/2026
Date

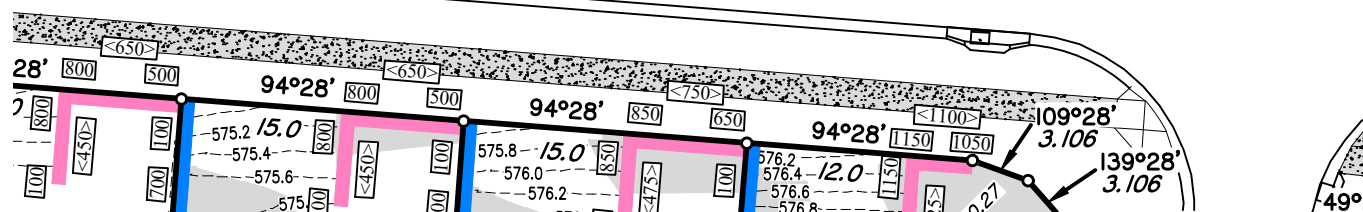
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SCALES	AS SHOWN	
DRAWN	SCM	DATE 23/03/2026
CHECKED	SCM	DATE 23/03/2026
PLAN NUMBER	15146-DP- 1331	

PROPOSED LOT 1332

BOTANIC HIGHFIELDS



ROAD 04

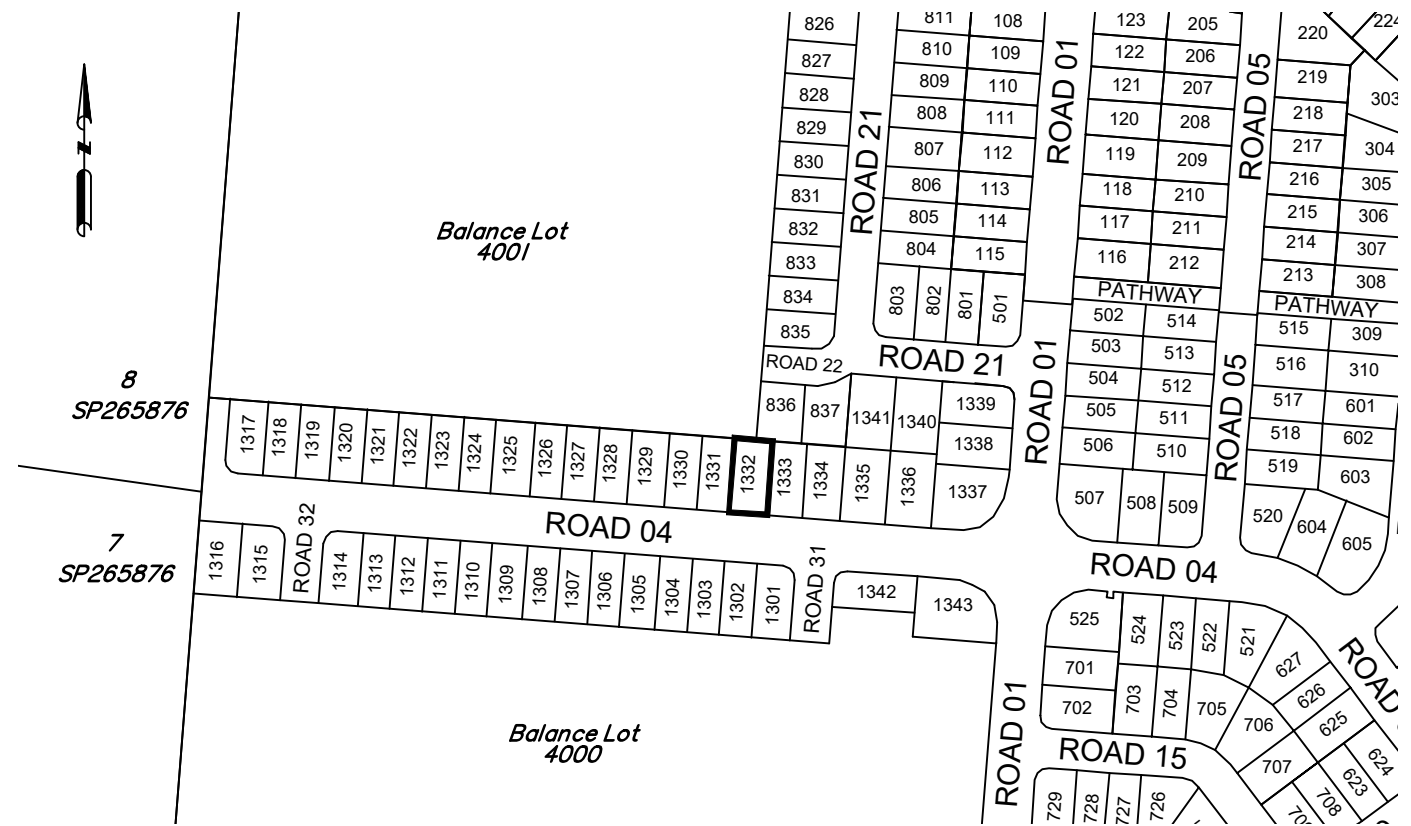


SCALE 1: 400 (A3)



15146-DP- 1332

LOCALITY PLAN



SCALE 1: 3500 (A3)



DISCLOSURE PLAN FOR PROPOSED LOT 1332

This plan shows details of proposed Lot 1332 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 (now Lot 1000 on SP346978), located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

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LEGEND-NOTATIONS

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- Conc. Sleeper Ret'g Wall
- Feature Sandstone Ret'g Wall
- Ret'g Wall Heights (mm)
- Average Wall Heights (mm)
- Concrete Path/Driveway
- Gully Inlet Pit
- Lot Boundary
- New EMT Bdy
- Design Contours
Contour Interval is 0.2 metre

Project: *Botanic Highfields*

Client: Bird in Hand 3 Pty Ltd

LOCALITY: WOOLMER
Local Authority: TOOWOOMBA R.C.

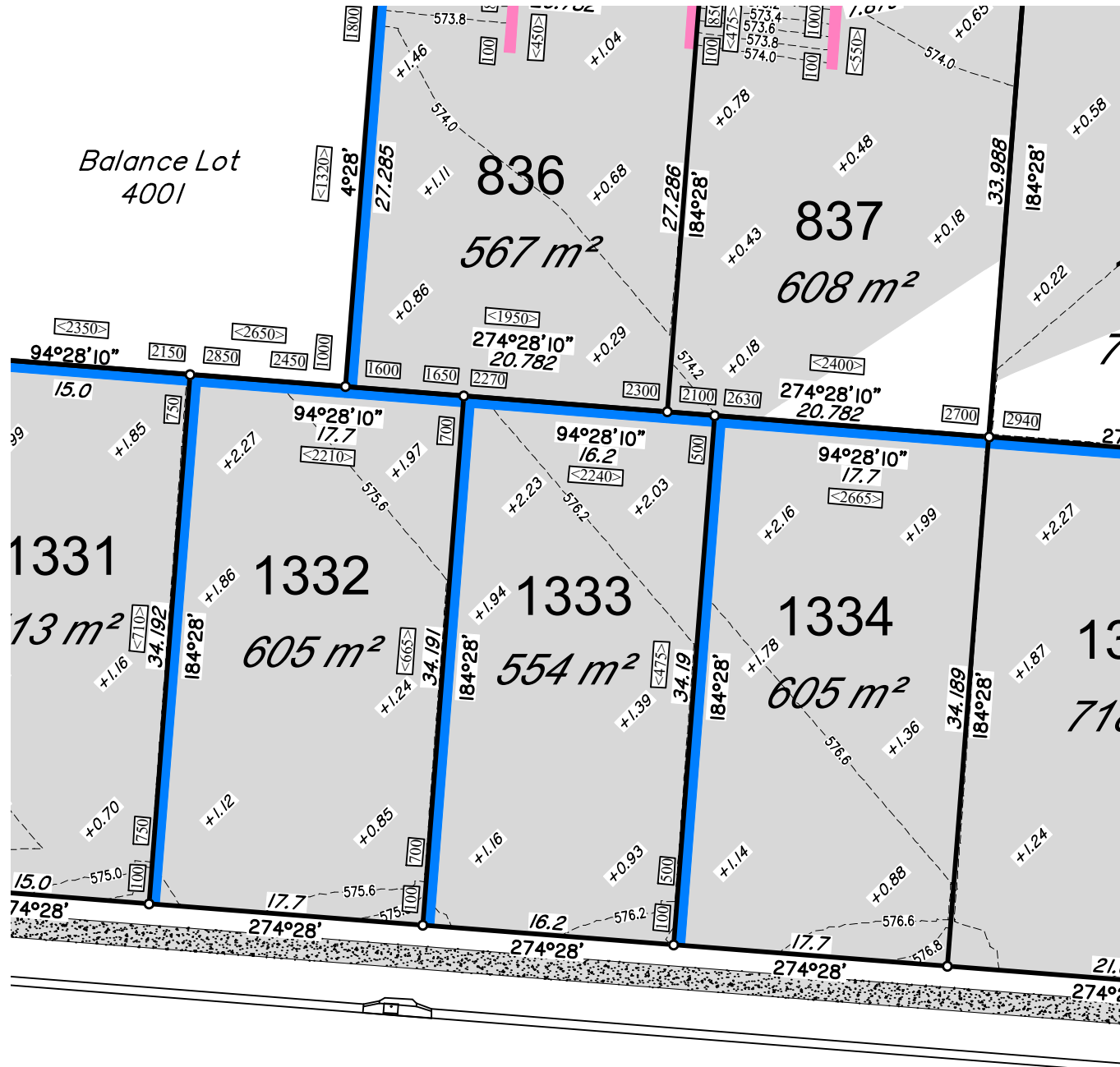
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Stephen M. Hanz 23/03/2026
Cadastral Surveyor Date

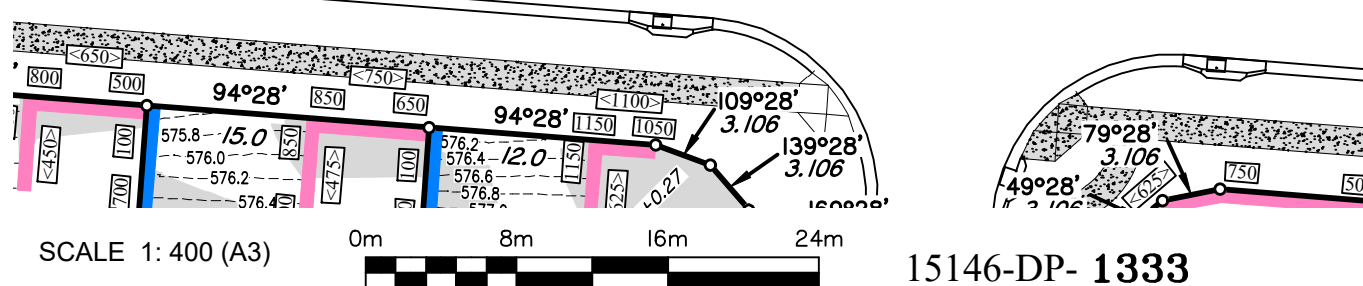
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SCALES	AS SHOWN	
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CHECKED	SCM	DATE 23/03/2026
PLAN NUMBER	15146-DP- 1332	

PROPOSED LOT 1333

BOTANIC HIGHFIELDS

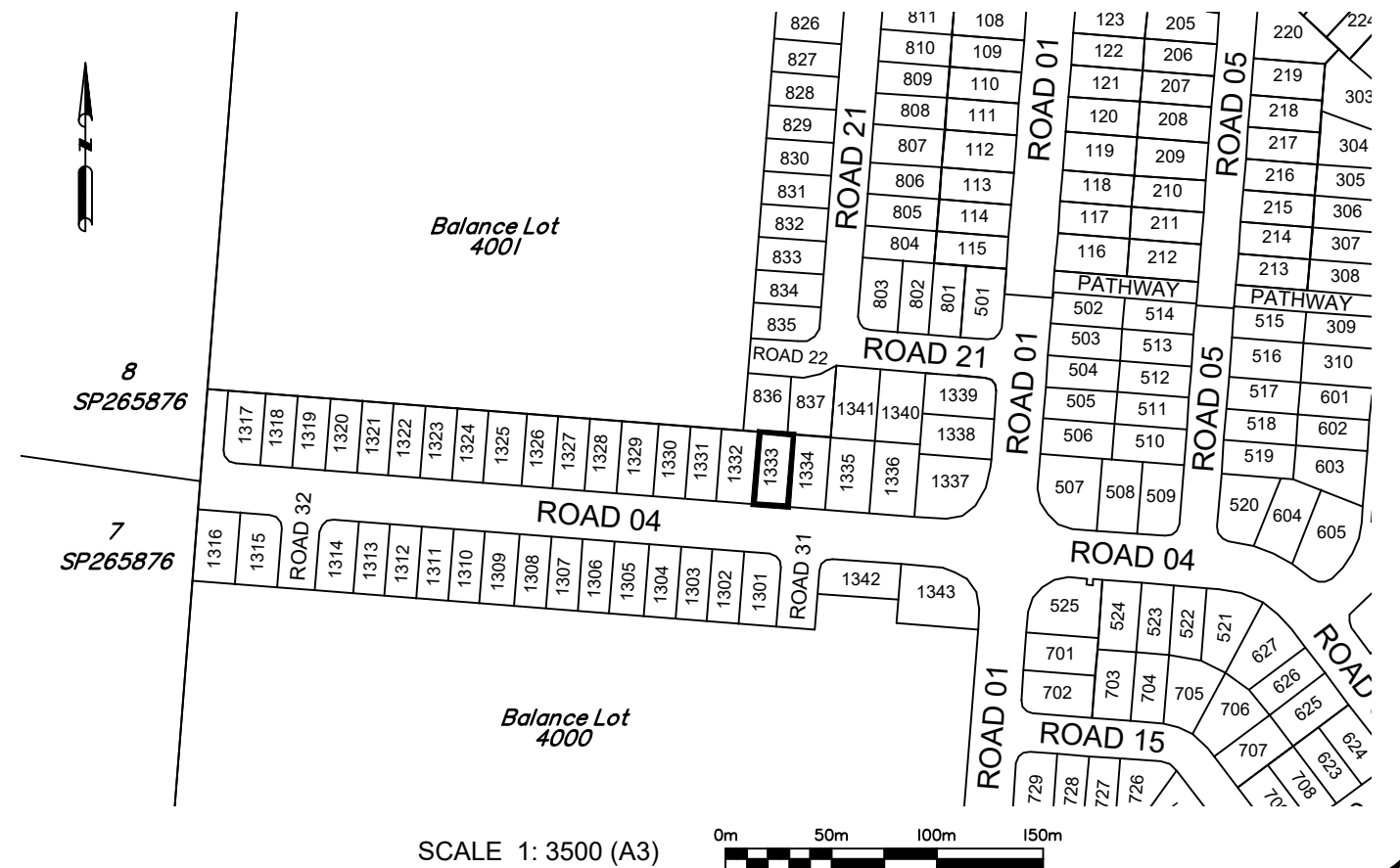


ROAD 04



15146-DP- 1333

LOCALITY PLAN



DISCLOSURE PLAN FOR PROPOSED LOT 1333

This plan shows details of proposed Lot 1333 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 (now Lot 1000 on SP346978), located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

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LEGEND-NOTATIONS

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- Feature Sandstone Ret'g Wall
- Ret'g Wall Heights (mm)
- Average Wall Heights (mm)
- Concrete Path/Driveway
- Gully Inlet Pit
- Lot Boundary
- New EMT Bdy
- Design Contours
Contour Interval is 0.2 metre

Project: *Botanic Highfields*

Client: Bird in Hand 3 Pty Ltd

LOCALITY: WOOLMER
Local Authority: TOOWOOMBA R.C.

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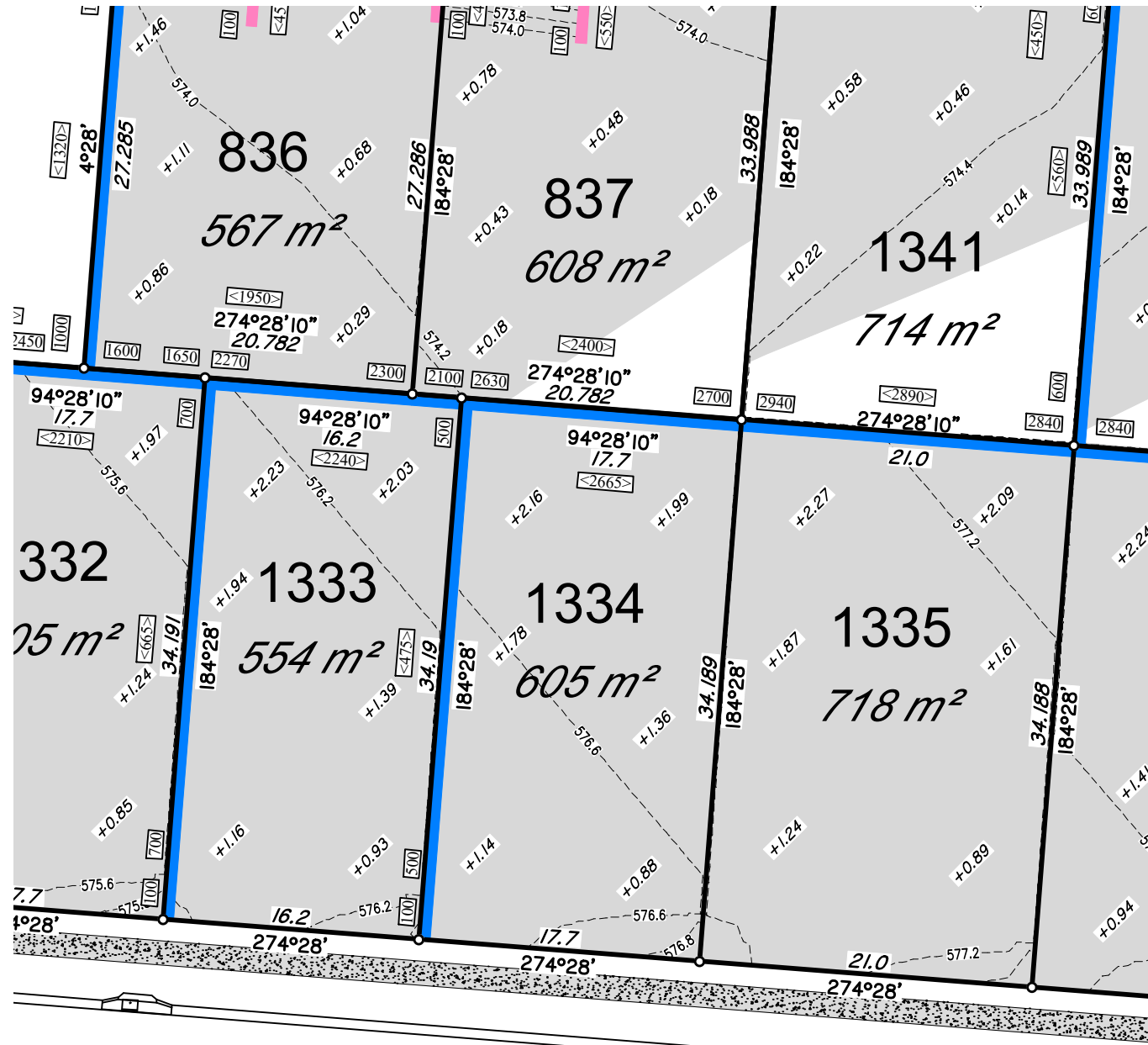
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Stephen M. Hanz 23/03/2026
Cadastral Surveyor Date

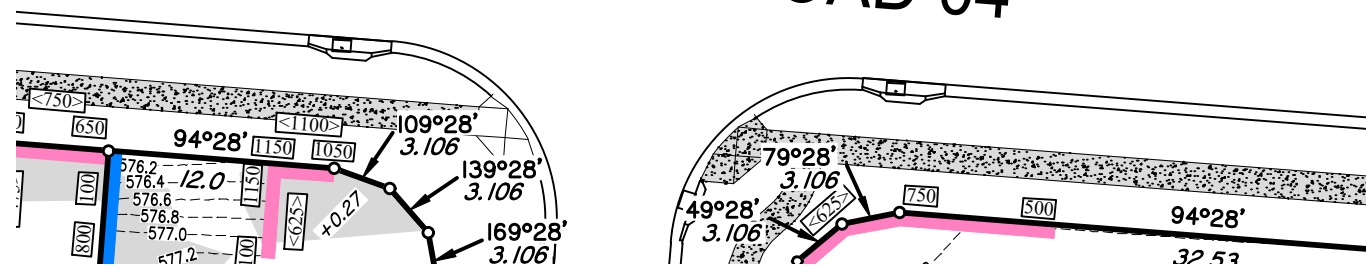
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SCALES	AS SHOWN	
DRAWN	SCM	DATE 23/03/2026
CHECKED	SCM	DATE 23/03/2026
PLAN NUMBER	15146-DP- 1333	

PROPOSED LOT 1334

BOTANIC HIGHFIELDS



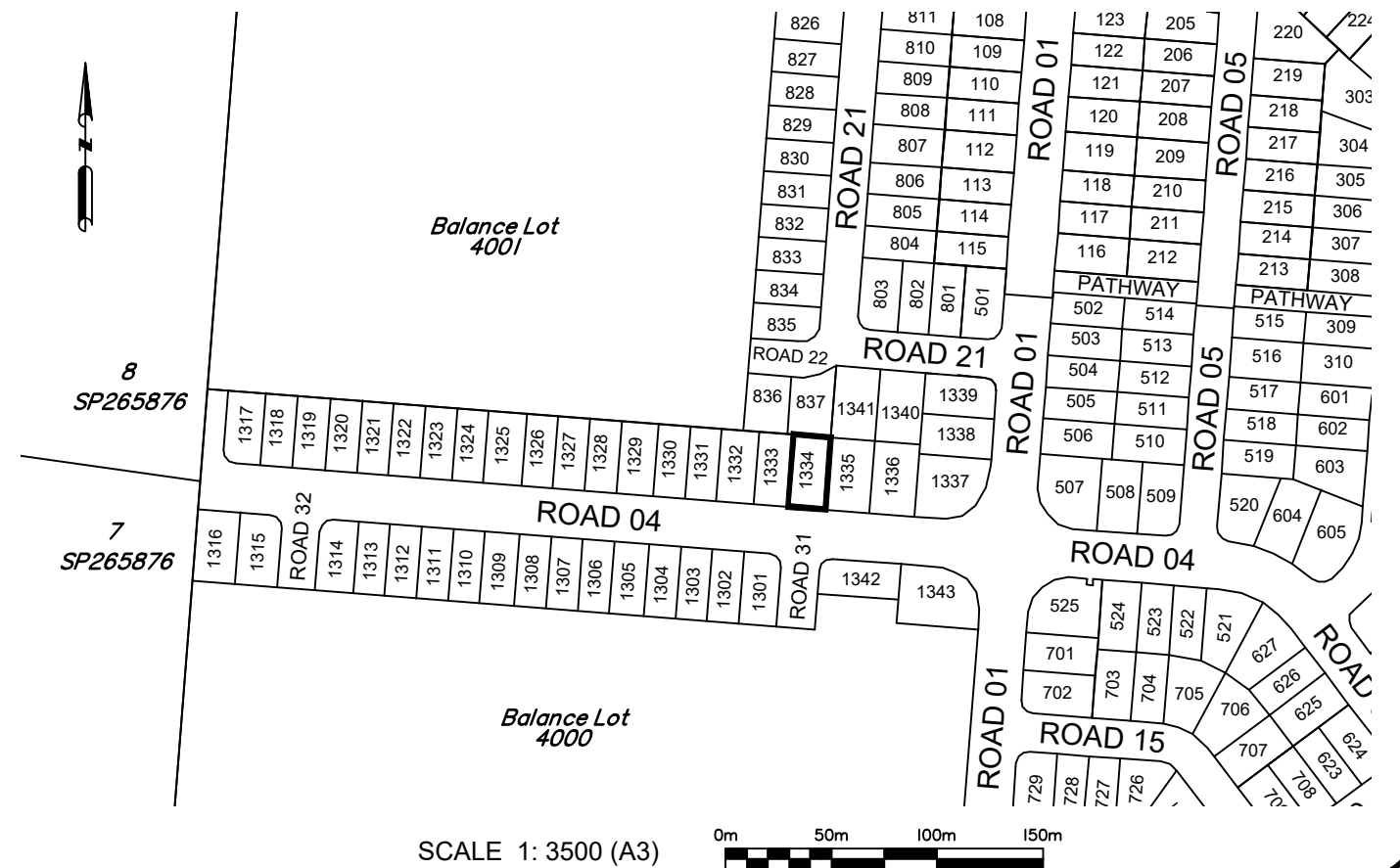
ROAD 04



SCALE 1: 400 (A3)

15146-DP- 1334

LOCALITY PLAN



SCALE 1: 3500 (A3)

DISCLOSURE PLAN FOR PROPOSED LOT 1334

This plan shows details of proposed Lot 1334 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 (now Lot 1000 on SP346978), located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

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 - Average Wall Heights (mm)
 - Concrete Path/Driveway
 - Gully Inlet Pit
 - Lot Boundary
 - New EMT Bdy
 - Design Contours
- Contour Interval is 0.2 metre

Project: **Botanic Highfields**

Client: **Bird in Hand 3 Pty Ltd**

LOCALITY: WOOLMER
Local Authority: TOOWOOMBA R.C.

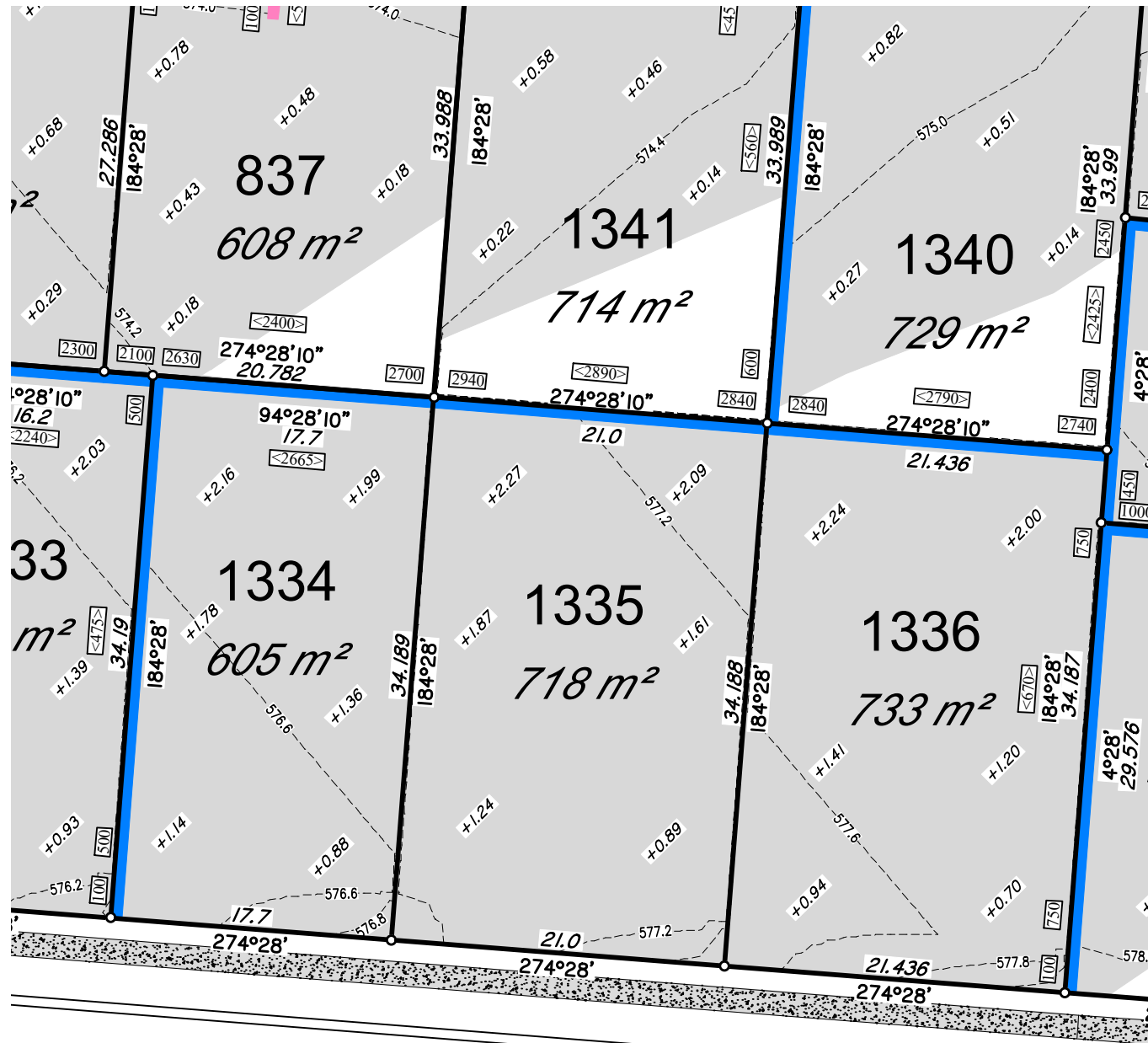
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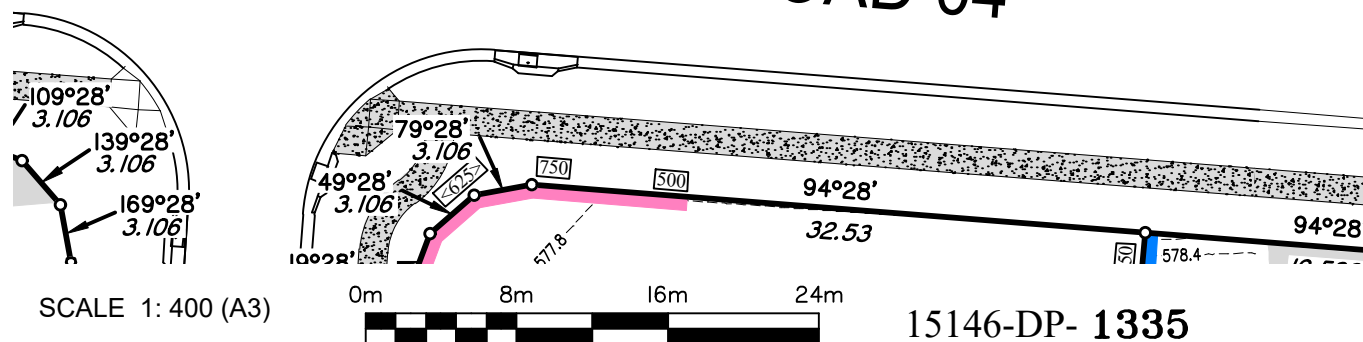
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DRAWN	SCM	DATE 23/03/2026
CHECKED	SCM	DATE 23/03/2026
PLAN NUMBER	15146-DP- 1334	

PROPOSED LOT 1335

BOTANIC HIGHFIELDS



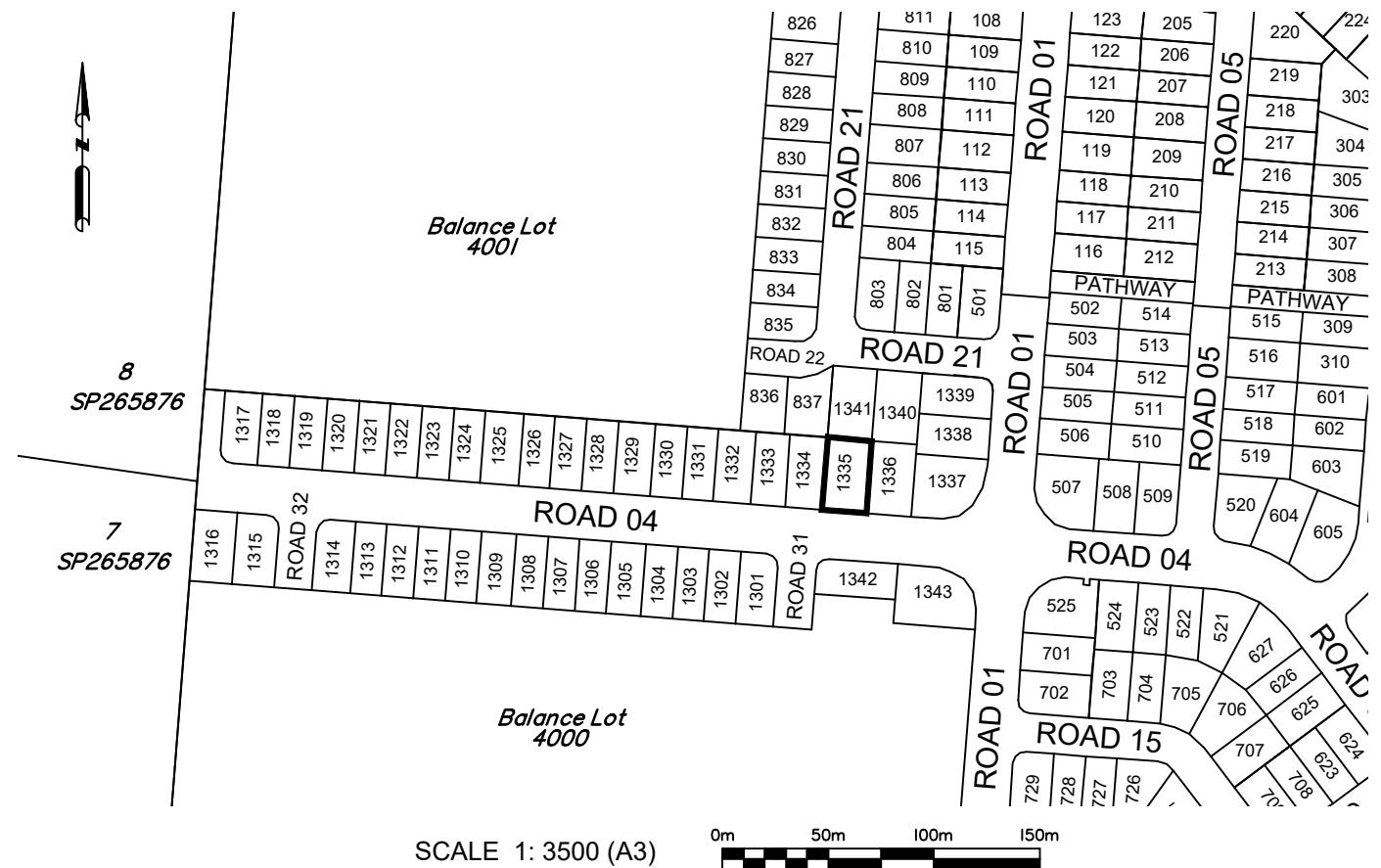
ROAD 04



SCALE 1: 400 (A3)

15146-DP- 1335

LOCALITY PLAN



SCALE 1: 3500 (A3)

DISCLOSURE PLAN FOR PROPOSED LOT 1335

This plan shows details of proposed Lot 1335 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 (now Lot 1000 on SP346978), located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

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 - Average Wall Heights (mm)
 - Concrete Path/Driveway
 - Gully Inlet Pit
 - Lot Boundary
 - New EMT Bdy
 - Design Contours
- Contour Interval is 0.2 metre

Project: **Botanic Highfields**

Client: **Bird in Hand 3 Pty Ltd**

LOCALITY: WOOLMER
Local Authority: TOOWOOMBA R.C.

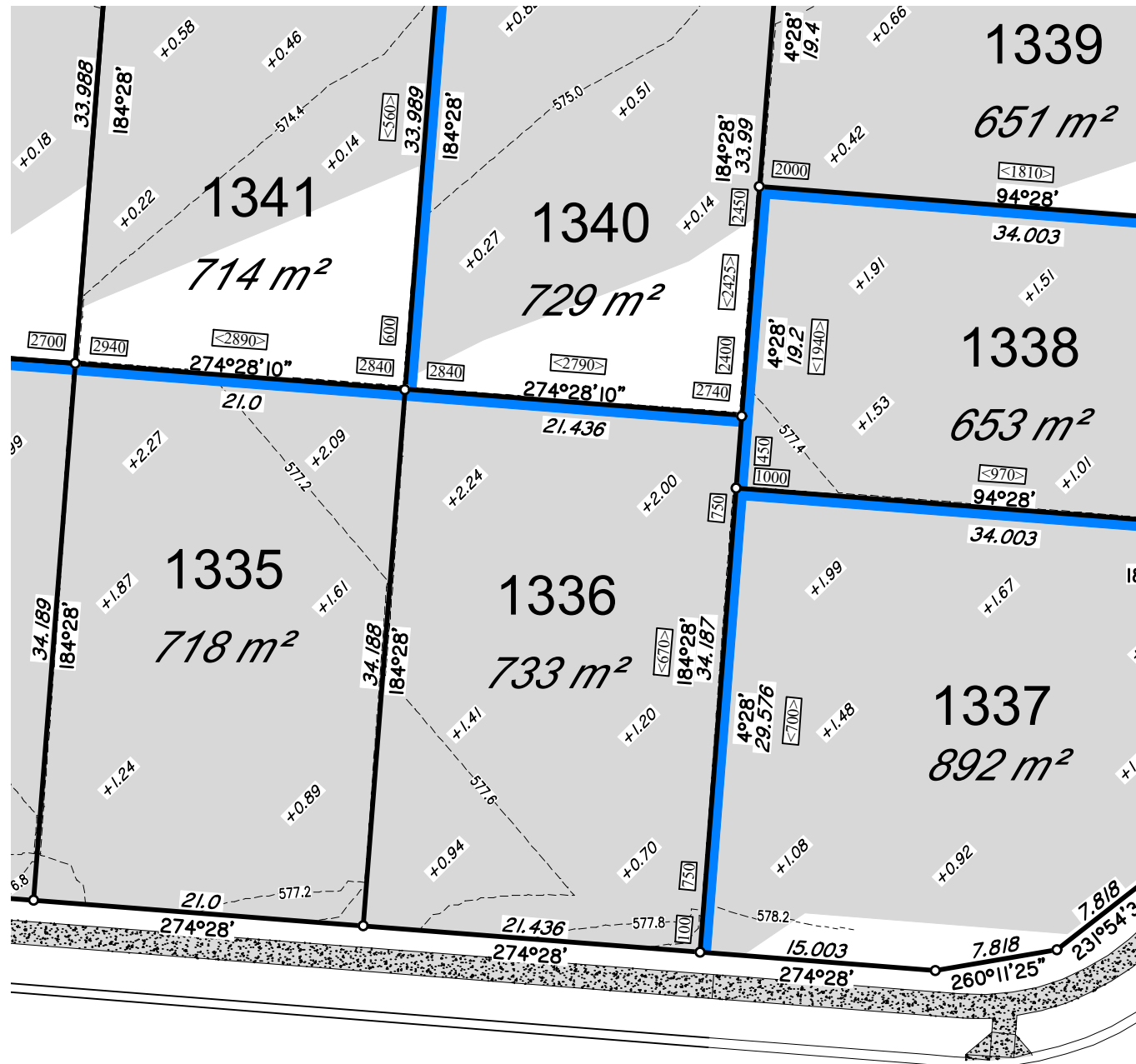
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23/03/2026
Date

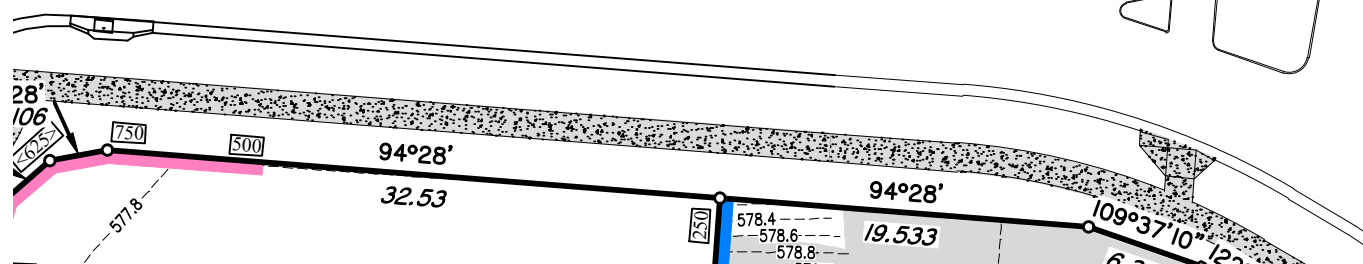
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SCALES	AS SHOWN	
DRAWN	SCM	DATE 23/03/2026
CHECKED	SCM	DATE 23/03/2026
PLAN NUMBER	15146-DP- 1335	

PROPOSED LOT 1336

BOTANIC
HIGHFIELDS



ROAD 04

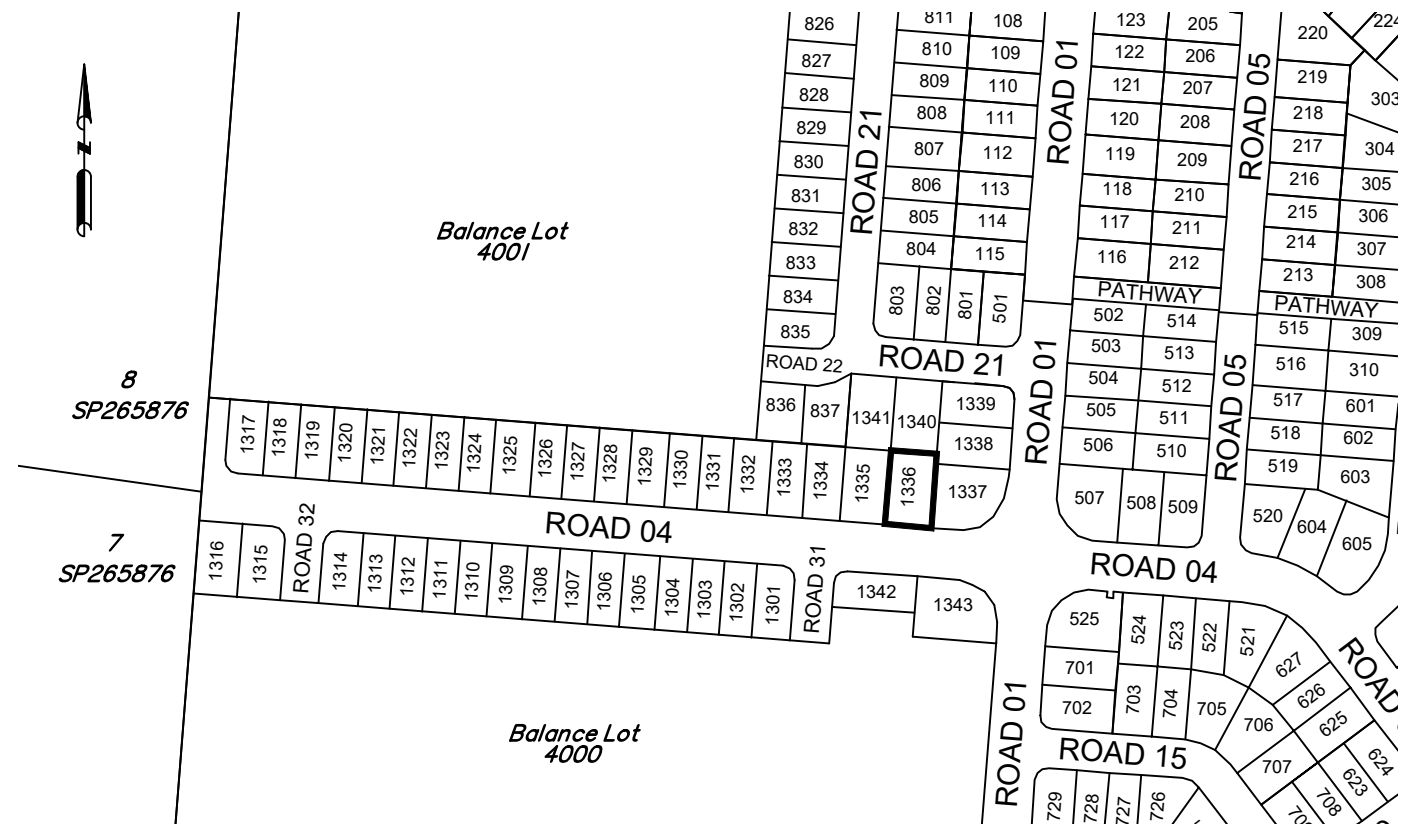


SCALE 1: 400 (A3)



15146-DP- 1336

LOCALITY PLAN



SCALE 1: 3500 (A3)



DISCLOSURE PLAN
FOR PROPOSED LOT 1336

This plan shows details of proposed Lot 1336 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 (now Lot 1000 on SP346978), located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

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- Feature Sandstone Ret'g Wall
- Ret'g Wall Heights (mm)
- Average Wall Heights (mm)
- Concrete Path/Driveway
- Gully Inlet Pit
- Lot Boundary
- New EMT Bdy
- Design Contours
Contour Interval is 0.2 metre

Project: *Botanic Highfields*

Client: Bird in Hand 3 Pty Ltd

LOCALITY: WOOLMER
Local Authority: TOOWOOMBA R.C.

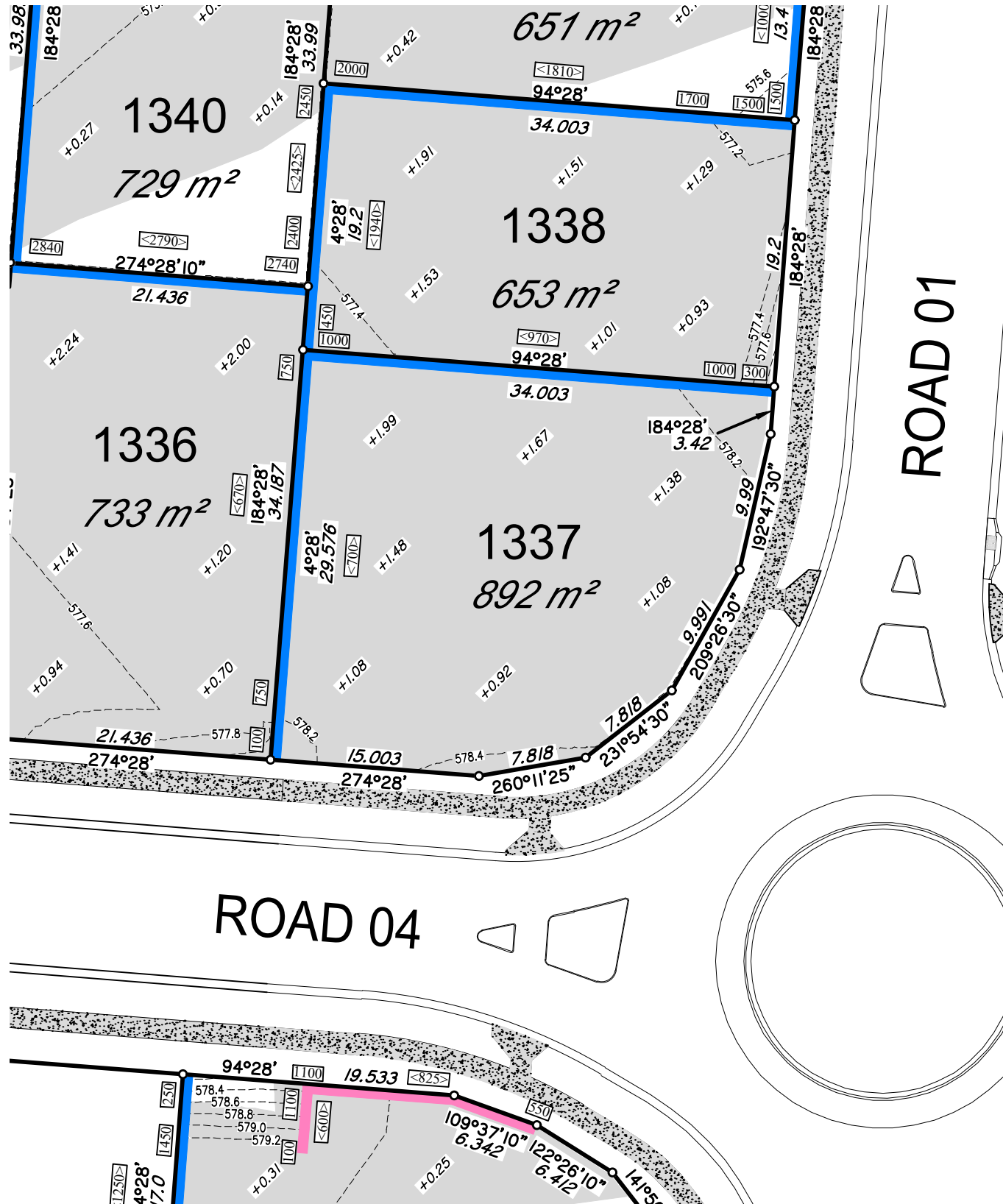
PARKINSON SURVEYS PTY.LTD.
CONSULTING SURVEYORS
185 Herries St, Toowoomba, 4350
A.C.N. 604 671 123
(07) 46323244, mail@parkinsonsurveys.com.au

Stephen M. Hanz
Cadastral Surveyor
23/03/2026
Date

DATUM	A.H.D.D.	
LEVEL ORIGIN	TOPNET AllDayRTK	
SCALES	AS SHOWN	
DRAWN	SCM	DATE 23/03/2026
CHECKED	SCM	DATE 23/03/2026
PLAN NUMBER	15146-DP- 1336	

PROPOSED LOT 1337

BOTANIC
HIGHFIELDS

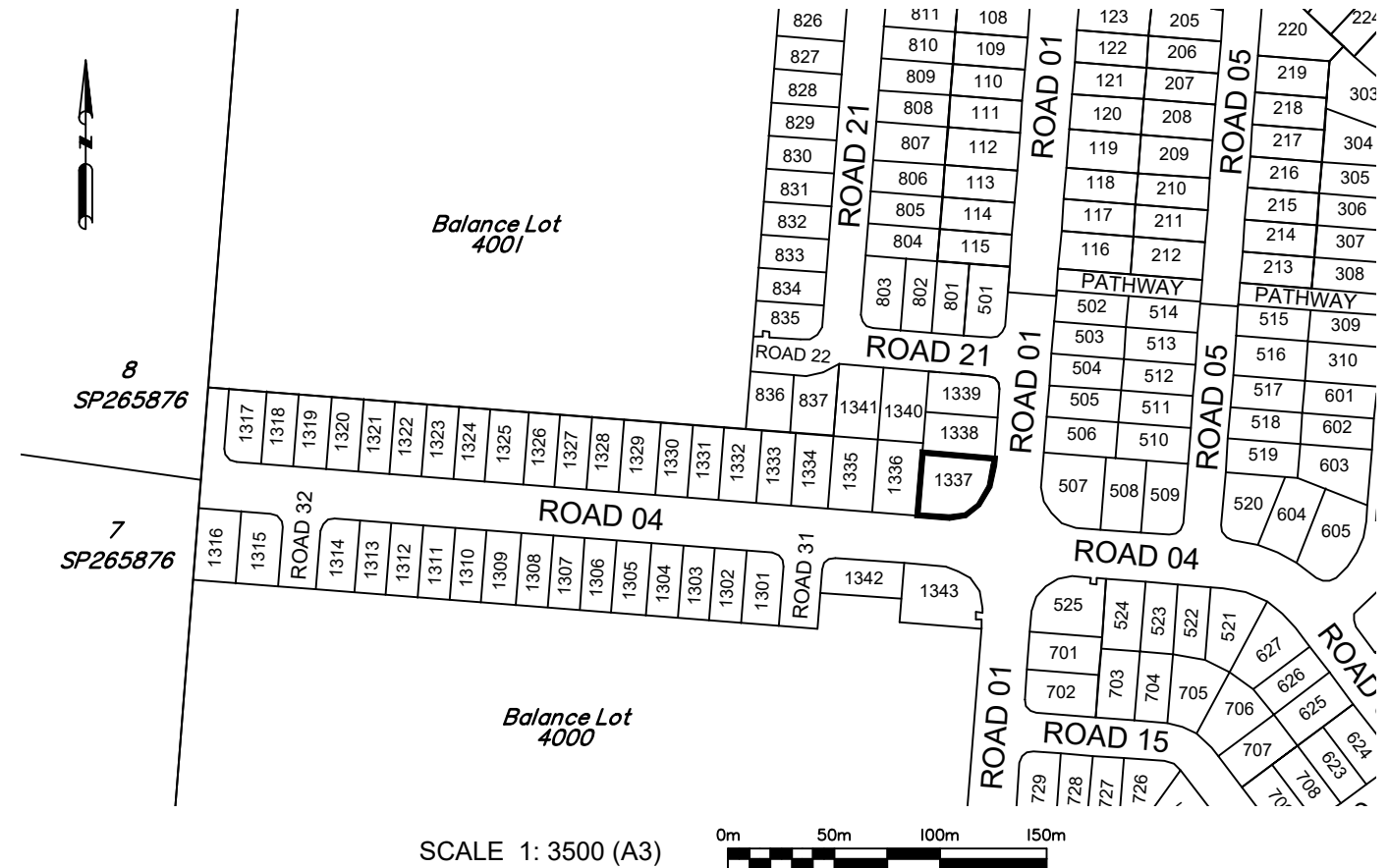


SCALE 1: 400 (A3)



15146-DP- 1337

LOCALITY PLAN



SCALE 1: 3500 (A3)



**DISCLOSURE PLAN
FOR PROPOSED LOT 1337**

This plan shows details of proposed Lot 1337 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 & located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

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Compaction of fill will be carried out in accordance with Australian Standard AS 3798-2007, with Level 1 certification.

Areas and dimensions shown on this plan are subject to approval by Council and registration with the Department of Resources. Design surface levels, fill areas and retaining walls that may be shown hereon have been plotted from data supplied by GenEng Solutions Pty Ltd.

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LEGEND-NOTATIONS

- Indicates areas of fill and fill depths (metres)
- Conc. Sleeper Ret'g Wall
- Feature Sandstone Ret'g Wall
- Conc. Block Ret'g Wall
- Ret'g Wall Heights (mm)
- Average Wall Heights (mm)
- Concrete Path/Driveway
- Gully Inlet Pit
- Lot Boundary
- New EMT Bdy
- Design Contours
Contour Interval is 0.2 metre

Project: **Botanic Highfields**
Client: **Bird in Hand 3 Pty Ltd**
LOCALITY: WOOLMER
Local Authority: TOOWOOMBA R.C.

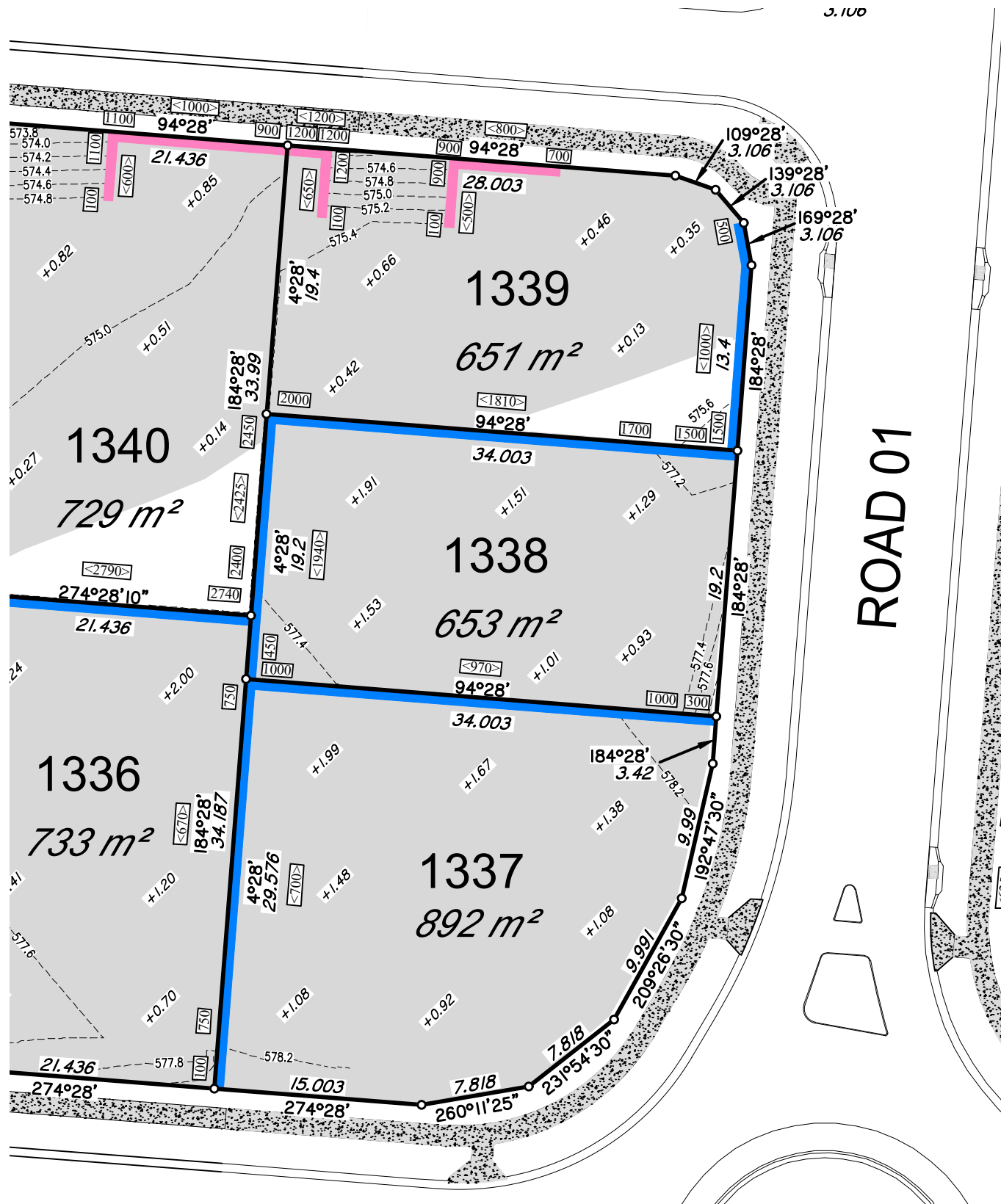
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A.C.N. 604 671 123
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Stephen M. Hanz
Cadastral Surveyor
30/04/2026
Date

DATUM	A.H.D.D.	
LEVEL ORIGIN	TOPNET AllDayRTK	
SCALES	AS SHOWN	
DRAWN	SCM	DATE 30/04/2026
CHECKED	SCM	DATE 30/04/2026
PLAN NUMBER	15146-DP- 1337	

PROPOSED LOT 1338

BOTANIC HIGHFIELDS

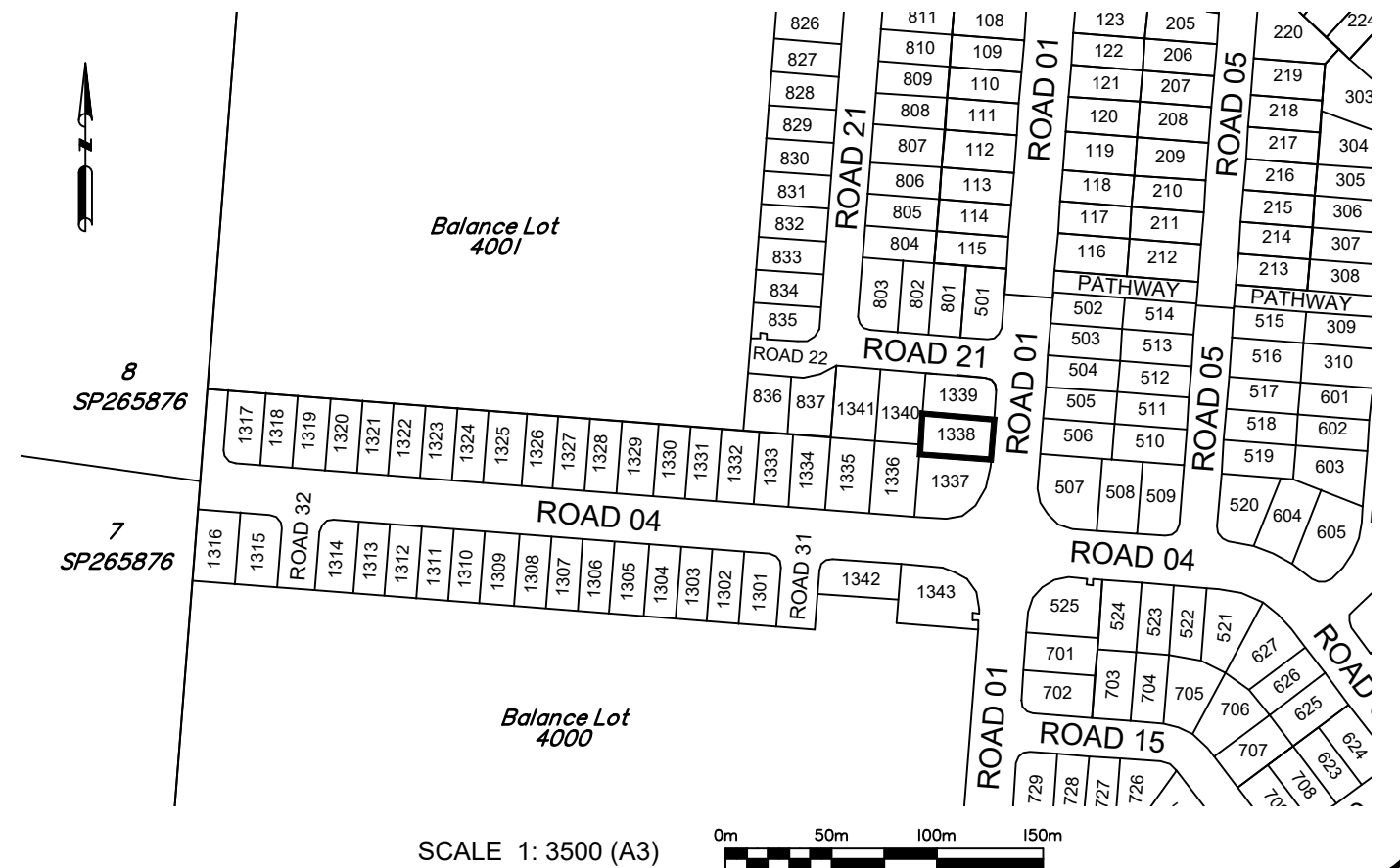


SCALE 1: 400 (A3)



15146-DP- 1338

LOCALITY PLAN



SCALE 1: 3500 (A3)



DISCLOSURE PLAN FOR PROPOSED LOT 1338

This plan shows details of proposed Lot 1338 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 & located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

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LEGEND-NOTATIONS

- Indicates areas of fill and fill depths (metres)
 - Conc. Sleeper Ret'g Wall
 - Feature Sandstone Ret'g Wall
 - Conc. Block Ret'g Wall
 - Ret'g Wall Heights (mm)
 - Average Wall Heights (mm)
 - Concrete Path/Driveway
 - Gully Inlet Pit
 - Lot Boundary
 - New EMT Bdy
 - Design Contours
- Contour Interval is 0.2 metre

Project: *Botanic Highfields*

Client: Bird in Hand 3 Pty Ltd

LOCALITY: WOOLMER
Local Authority: TOOWOOMBA R.C.

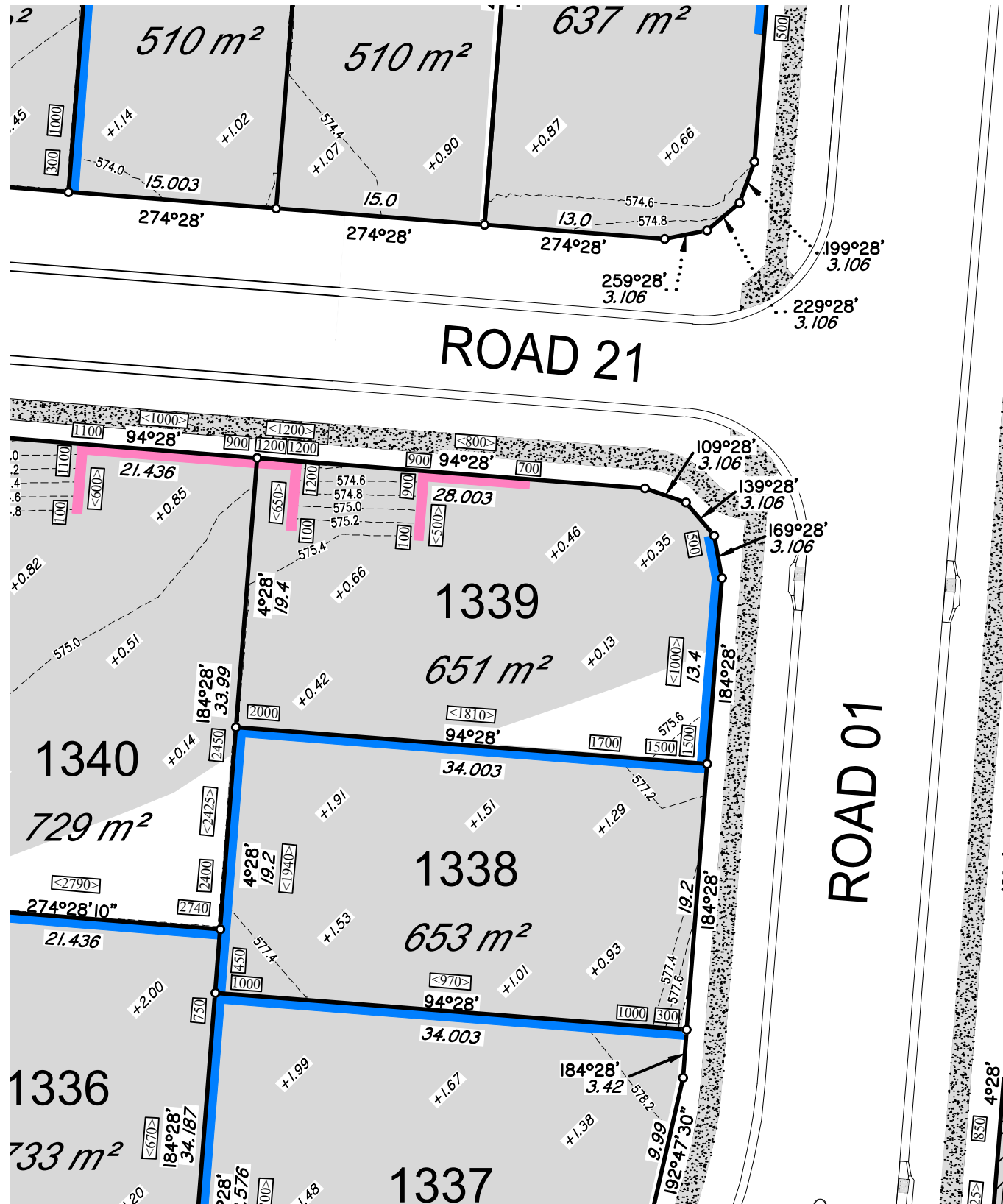
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A.C.N. 604 671 123
(07) 46323244, mail@parkinsonsurveys.com.au

Alphon M. King 30/04/2026
.....
Cadastral Surveyor Date

DATUM	A.H.D.D.	
LEVEL ORIGIN	TOPNET AllDayRTK	
SCALES	AS SHOWN	
DRAWN	SCM	DATE 30/04/2026
CHECKED	SCM	DATE 30/04/2026
PLAN NUMBER	15146-DP- 1338	

PROPOSED LOT 1339

BOTANIC
HIGHFIELDS

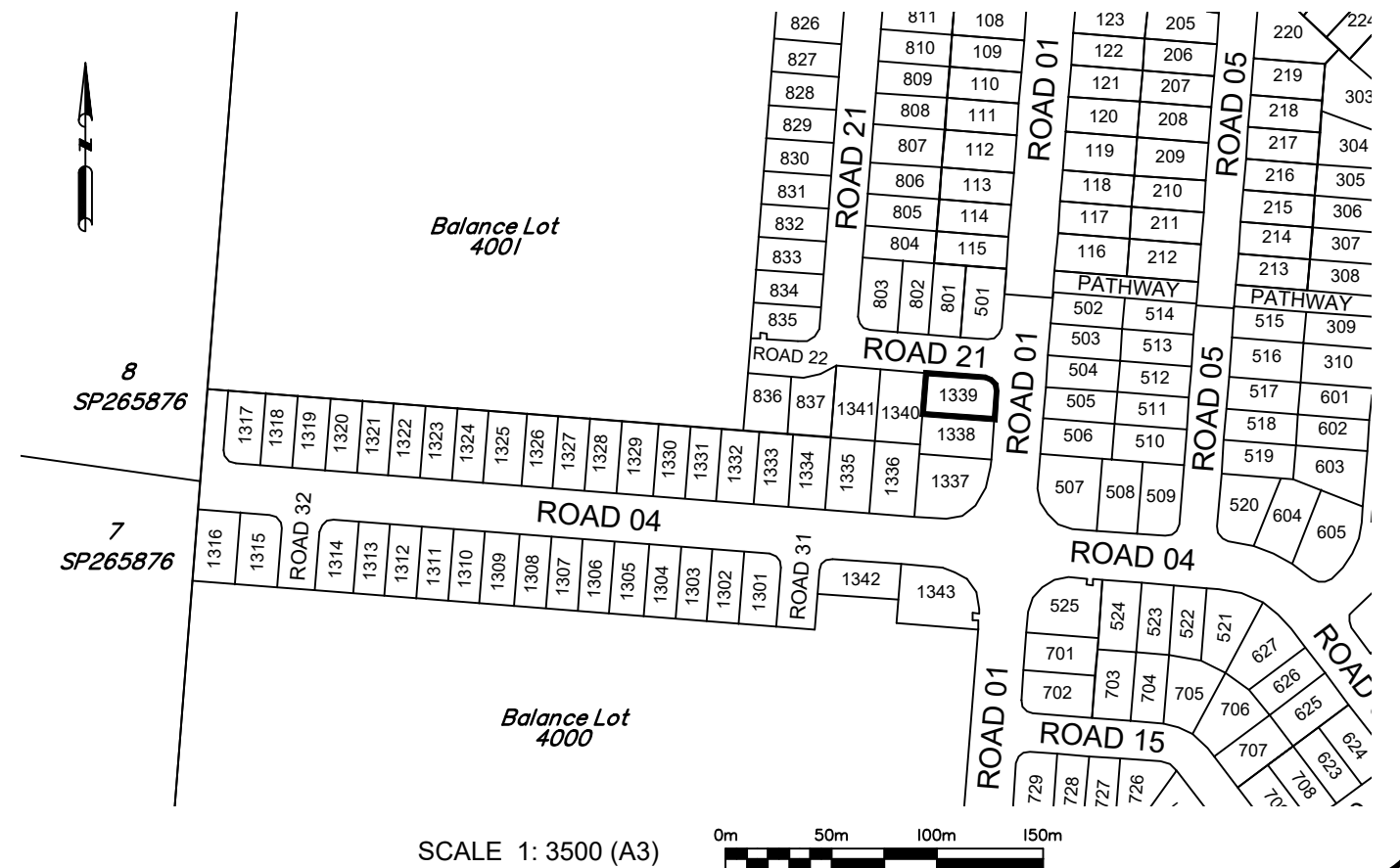


SCALE 1: 400 (A3)



15146-DP- 1339

LOCALITY PLAN



SCALE 1: 3500 (A3)



**DISCLOSURE PLAN
FOR PROPOSED LOT 1339**

This plan shows details of proposed Lot 1339 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 & located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

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LEGEND-NOTATIONS

- +0.4/ Indicates areas of fill and fill depths (metres)
- Conc. Sleeper Ret'g Wall
- Feature Sandstone Ret'g Wall
- Conc. Block Ret'g Wall
- Ret'g Wall Heights (mm)
- Average Wall Heights (mm)
- Concrete Path/Driveway
- Gully Inlet Pit
- Lot Boundary
- New EMT Bdy
- Design Contours
Contour Interval is 0.2 metre

Project: *Botanic Highfields*

Client: Bird in Hand 3 Pty Ltd

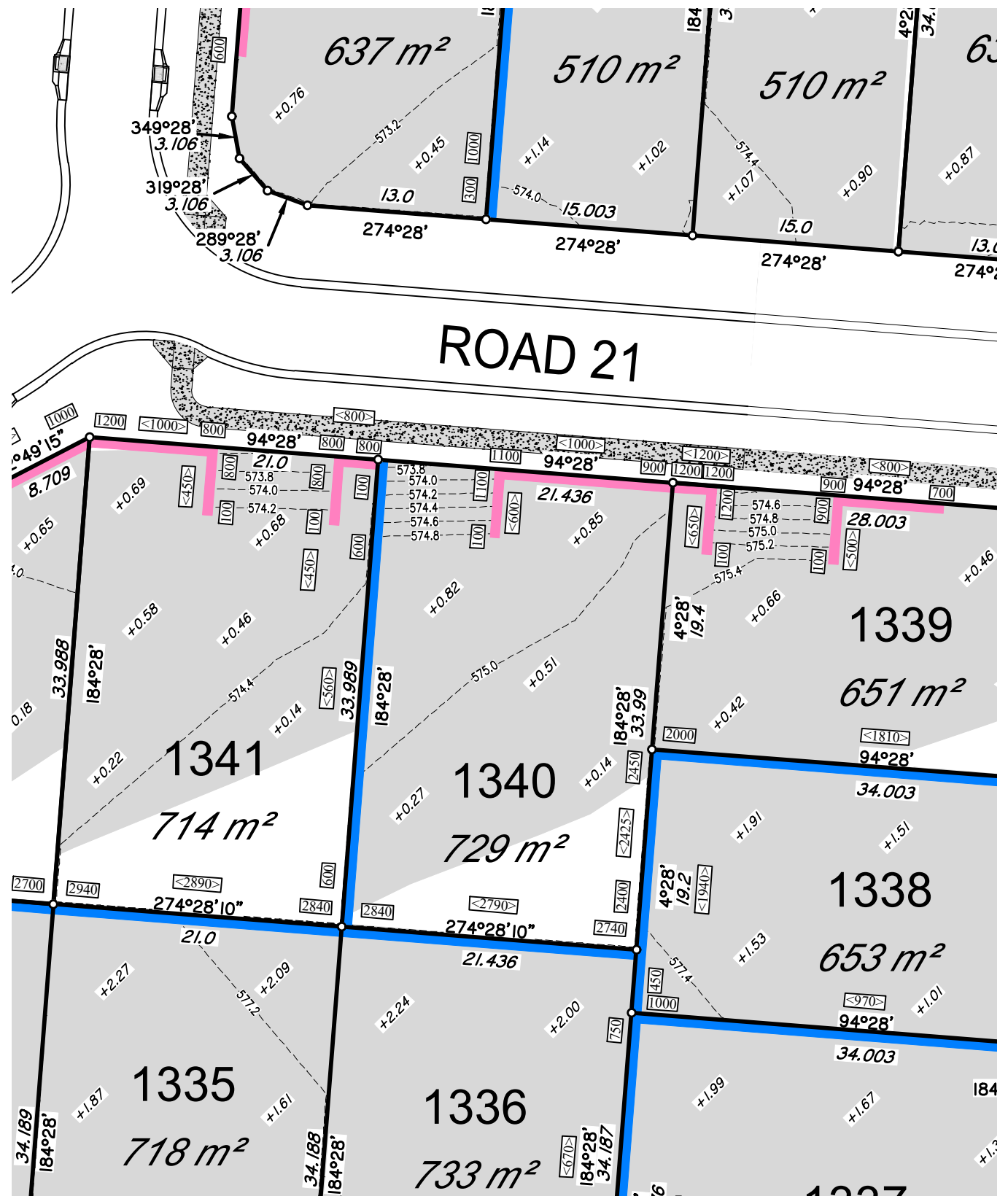
LOCALITY: WOOLMER
Local Authority: TOOWOOMBA R.C.

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Alphon M. King 30/04/2026
.....
Cadastral Surveyor Date

DATUM	A.H.D.D.	
LEVEL ORIGIN	TOPNET AllDayRTK	
SCALES	AS SHOWN	
DRAWN	SCM	DATE 30/04/2026
CHECKED	SCM	DATE 30/04/2026
PLAN NUMBER	15146-DP- 1339	

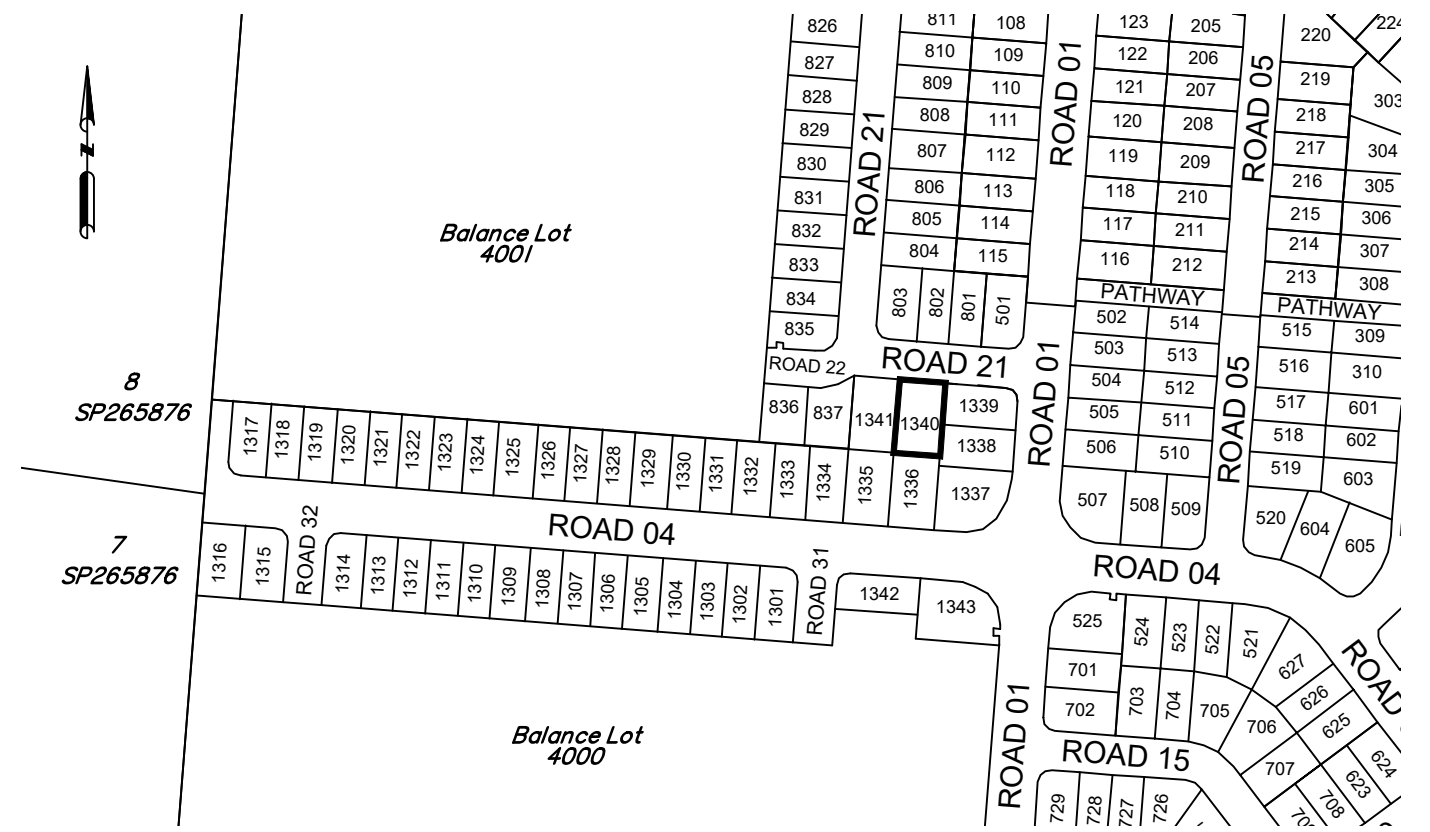
PROPOSED LOT 1340



SCALE 1: 400 (A3) 0m 8m 16m 24m

15146-DP- 1340

LOCALITY PLAN



SCALE 1: 3500 (A3) 0m 50m 100m 150m

DISCLOSURE PLAN FOR PROPOSED LOT 1340

This plan shows details of proposed Lot 1340 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 & located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

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LEGEND-NOTATIONS

- +0.4/ Indicates areas of fill and fill depths (metres)
 - Conc. Sleeper Ret'g Wall
 - Feature Sandstone Ret'g Wall
 - Conc. Block Ret'g Wall
 - 1050 Ret'g Wall Heights (mm)
 - <1050> Average Wall Heights (mm)
 - Concrete Path/Driveway
 - Gully Inlet Pit
 - Lot Boundary
 - New EMT Bdy
 - Design Contours
- Contour Interval is 0.2 metre

Project: *Botanic Highfields*
 Client: Bird in Hand 3 Pty Ltd
 LOCALITY: WOOLMER
 Local Authority: TOOWOOMBA R.C.

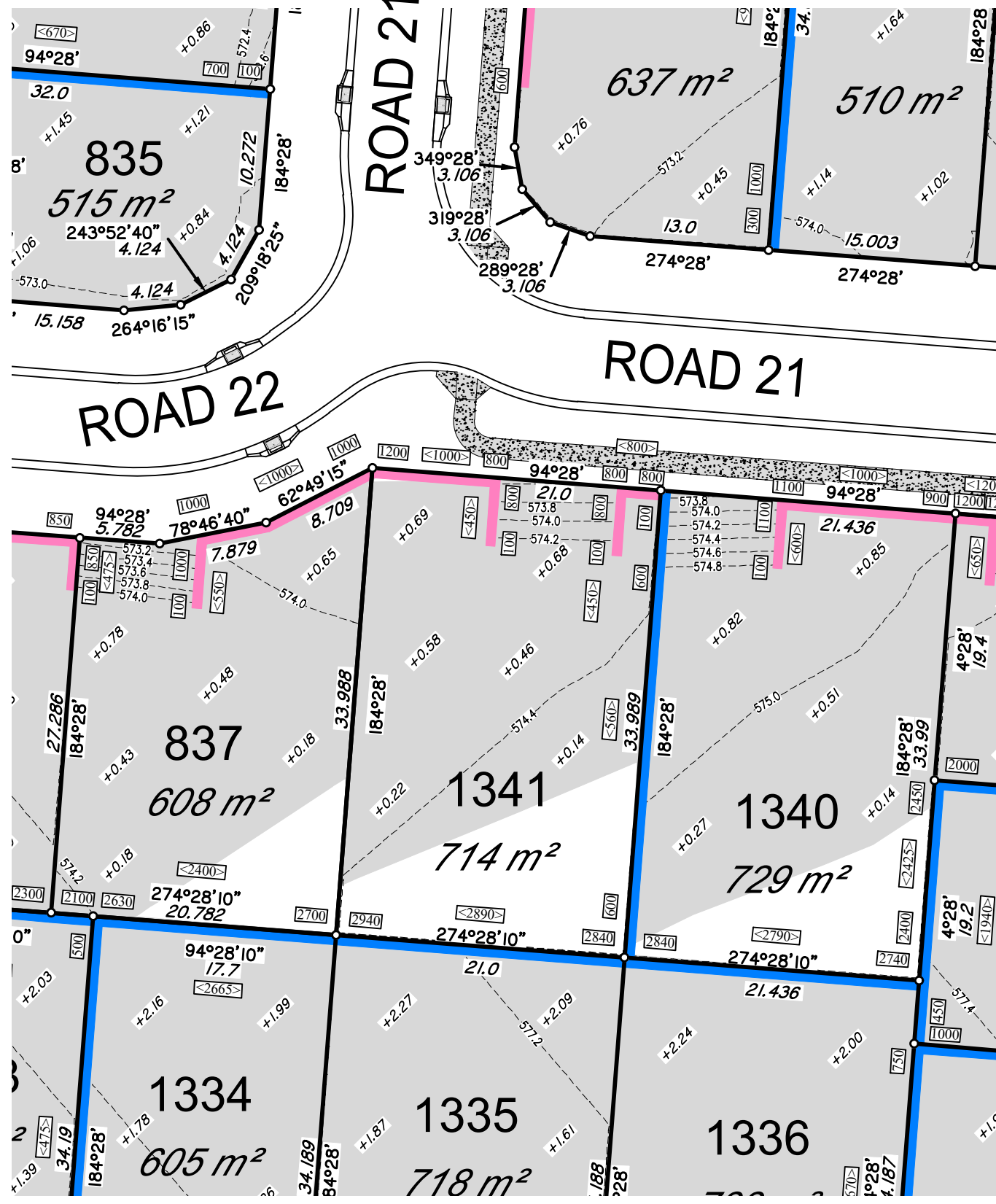
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 (07) 46323244, mail@parkinsonsurveys.com.au
Alphon M. King 30/04/2026

 Cadastral Surveyor Date

DATUM	A.H.D.D.	
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SCALES	AS SHOWN	
DRAWN	SCM	DATE 30/04/2026
CHECKED	SCM	DATE 30/04/2026
PLAN NUMBER	15146-DP- 1340	

PROPOSED LOT 1341

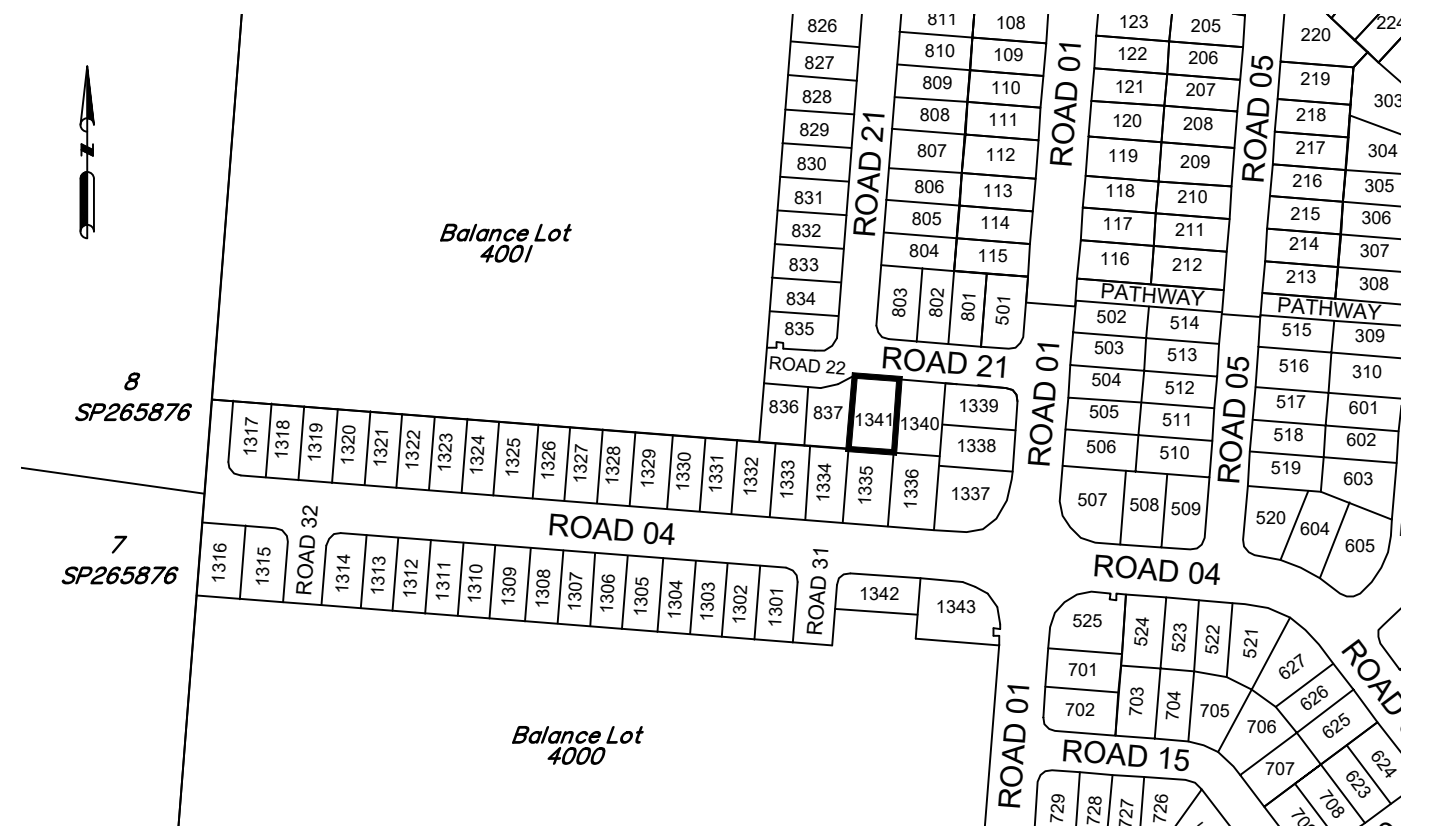
BOTANIC HIGHFIELDS



SCALE 1: 400 (A3) 0m 8m 16m 24m

15146-DP- 1341

LOCALITY PLAN



SCALE 1: 3500 (A3) 0m 50m 100m 150m

DISCLOSURE PLAN FOR PROPOSED LOT 1341

This plan shows details of proposed Lot 1341 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 & located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

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LEGEND-NOTATIONS

- Indicates areas of fill and fill depths (metres)
 - Conc. Sleeper Ret'g Wall
 - Feature Sandstone Ret'g Wall
 - Conc. Block Ret'g Wall
 - Ret'g Wall Heights (mm)
 - Average Wall Heights (mm)
 - Concrete Path/Driveway
 - Gully Inlet Pit
 - Lot Boundary
 - New EMT Bdy
 - Design Contours
- Contour Interval is 0.2 metre

Project: *Botanic Highfields*
 Client: Bird in Hand 3 Pty Ltd
 LOCALITY: WOOLMER
 Local Authority: TOOWOOMBA R.C.

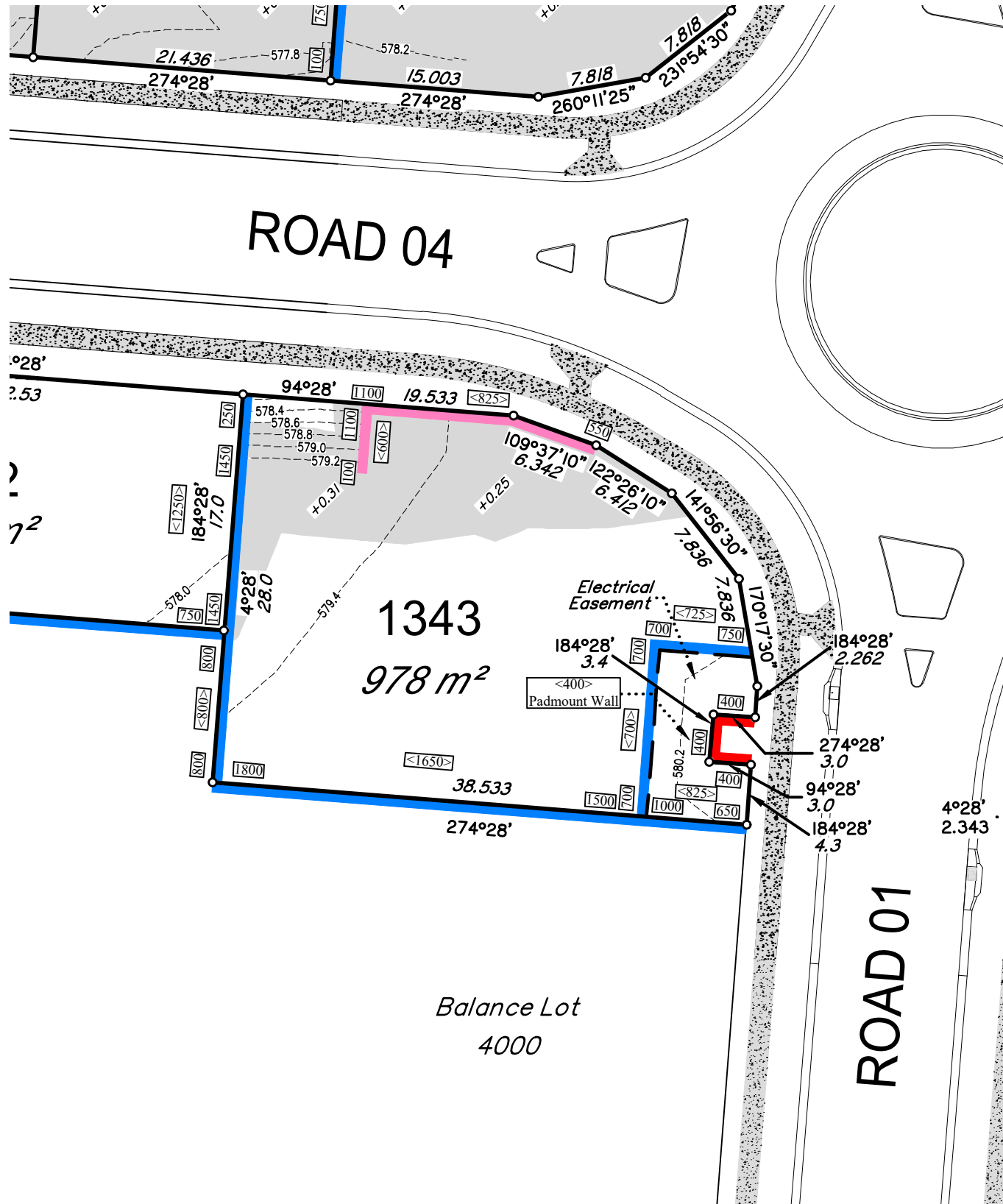
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 30/04/2026
 Cadastral Surveyor Date

DATUM	A.H.D.D.	
LEVEL ORIGIN	TOPNET AllDayRTK	
SCALES	AS SHOWN	
DRAWN	SCM	DATE 30/04/2026
CHECKED	SCM	DATE 30/04/2026
PLAN NUMBER	15146-DP- 1341	

PROPOSED LOT 1343

BOTANIC HIGHFIELDS

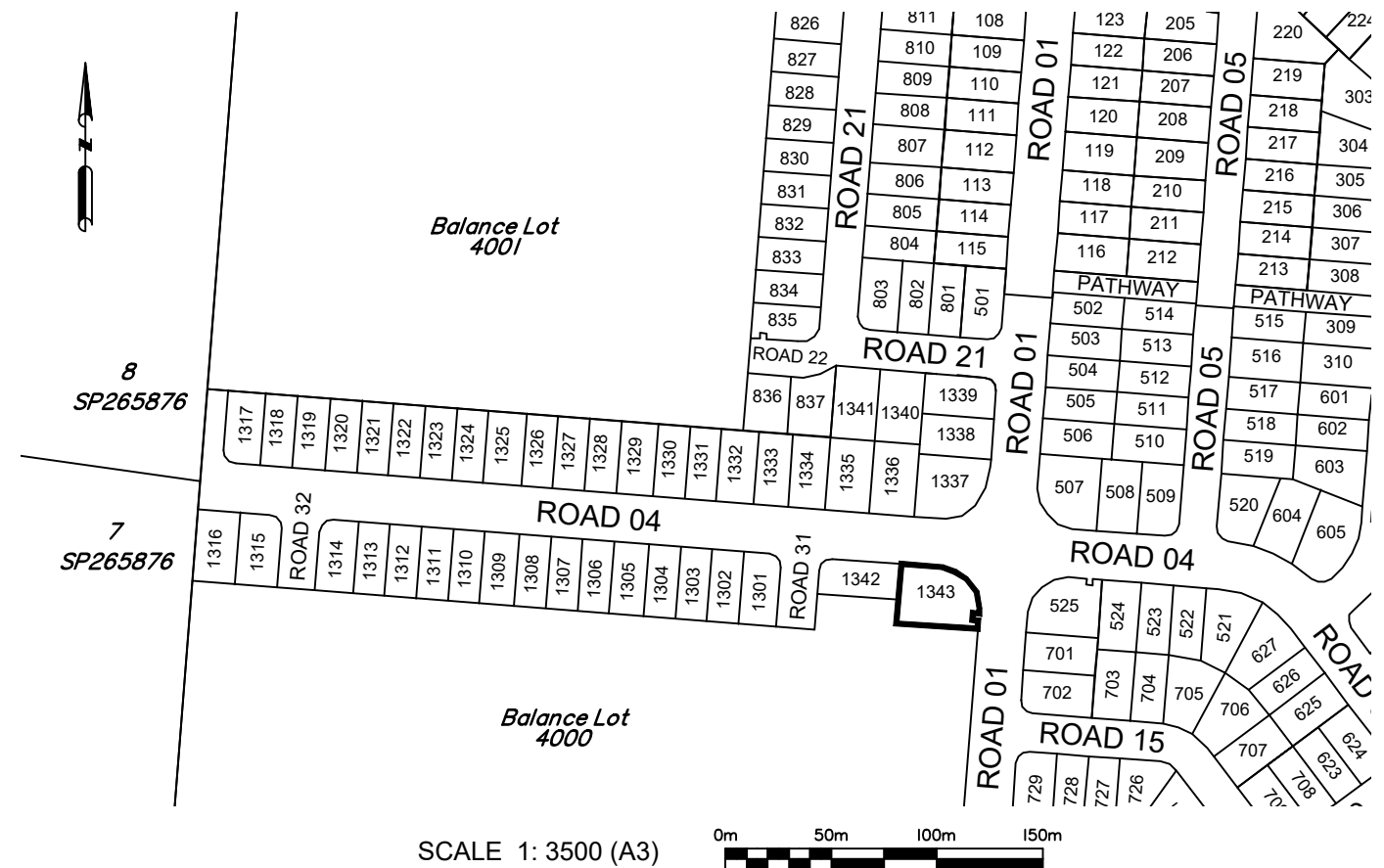


SCALE 1: 400 (A3)



15146-DP- 1343

LOCALITY PLAN



SCALE 1: 3500 (A3)



DISCLOSURE PLAN FOR PROPOSED LOT 1343

This plan shows details of proposed Lot 1343 on the approved proposal plans (10757 P 15 Revision C-PRO 01, STG 08 & STG 09) which accompanies a development application, RAL/2024/6670, to reconfigure Lot 5 on SP339730 & located at 248 Woolmer Rd, Woolmer, which was approved by Toowoomba Regional Council on the 18th of July 2025, subject to conditions.

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LEGEND-NOTATIONS

- Indicates areas of fill and fill depths (metres)
- Conc. Sleeper Ret'g Wall
- Feature Sandstone Ret'g Wall
- Conc. Block Ret'g Wall
- Ret'g Wall Heights (mm)
- Average Wall Heights (mm)
- Concrete Path/Driveway
- Gully Inlet Pit
- Lot Boundary
- New EMT Bdy
- Design Contours
Contour Interval is 0.2 metre

Project: *Botanic Highfields*

Client: Bird in Hand 3 Pty Ltd

LOCALITY: WOOLMER
Local Authority: TOOWOOMBA R.C.

PARKINSON SURVEYS PTY.LTD.
CONSULTING SURVEYORS

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Stephen M. King 30/04/2026
Cadastral Surveyor Date

DATUM	A.H.D.D.	
LEVEL ORIGIN	TOPNET AllDayRTK	
SCALES	AS SHOWN	
DRAWN	SCM	DATE 30/04/2026
CHECKED	SCM	DATE 30/04/2026
PLAN NUMBER	15146-DP- 1343	